

# **Van Buren County Land Bank Authority**

## **Request for Proposal General Contractor - Abatement & Building Stabilization**

(Openings, Foundations, Structure, and Masonry Restoration)

At:

5 W Main Street  
Hartford, MI 49057

Request for Published Proposal:

November 3, 2025

Proposals Due:

November 21, 2025 @ 9:45am

Bids shall be submitted via sealed, hard copy to:

Van Buren County Land Bank Authority  
Amelia Barker-King, Owner's Representative  
219 E Paw Paw St, Suite 101  
Paw Paw, MI 49079

## Section 1: General Information

Through The Barton Group, Van Buren County is hereby soliciting proposals from qualified vendors for general contractors to perform work at the two-story building located at 5 W Main Street, Hartford, MI. Significant renovations are proposed to abate and to stabilize the mixed-use property.

The requested scope of work involves work to abate asbestos containing materials as necessary and per regulations, stabilize, prevent further decay, and make it safe for future work and contractors. The scope of work is further defined in Section 3: Scope of Services and Section 5: Specifications.

The ideal time for the work to be completed would be in less than 16 weeks of contract execution and an absolute deadline would be for the work to be completed within 24 weeks of contract execution.

The selected bidder may subcontract work but will be responsible for all work defined in this RFP. Subcontractors should be identified (business name and name(s) of each owner) with bid submission and be approved in advance by Van Buren County and provide the same proof of insurance coverage as the Selected Bidder, and they must comply with all Davis-Bacon prevailing wage requirements the same as the selected bidder.

The issue date of this proposal is November 3, 2025 and includes the following attachments:

1. Federal and State Provisions/Requirements
2. Wage Determinations
3. Site Photos
4. 2025 Structural Assessment from Abonmarche
5. Hazardous Materials Inspection by Envirollogic in 2021

This RFP includes the following appendices to be completed:

- A. Insurance Documentation & Bid Bond
  - i. Payment and performance bonds also required for stabilization projects
- B. Bidder's Checklist

Modifications to this RFP, if any, shall take the form of one or more written addenda. Such addenda shall be considered as part of the original RFP.

A contract agreement will be carried out between Van Buren County and the Selected Bidder post-bid award. The contract will contain language pertaining to compliance with federal requirements, including but not limited to document retention (through December 31, 2031), certified payroll, and the Contractor will be required to pay Davis Bacon/Prevailing Wages.

The Contractor and all Subcontractors shall comply with all applicable federal, state, and local laws and regulations governing the payment of prevailing wages. Specifically:

1. **Wage Rates:** All laborers and mechanics employed by the Contractor or any Subcontractor on the project shall be paid wages at rates not less than those prevailing for similar work in the locality, as determined by the U.S. Department of Labor. In addition, contractors must be required to pay wages at least once a week. Wage determinations include both direct wages and indirect benefits given to the employee.

2. **Certified Payroll:** The Contractor shall submit its own and each subcontractor's certified Davis-Bacon and Related Acts Weekly Certified Payroll Form WH-347 and records to the Owner/Agency, detailing the name, classification, hours worked, and wages paid to each worker. These records must be submitted no later than the fifth business day of each month.
3. **Record of Employee Interview:** U.S. Department of Housing and Urban Development Office of Davis-Bacon and Labor Standards Record of Employee Interview Form shall be completed. The interviewer (The Barton Group in this case) must be someone unaffiliated with the contractors and on site regularly. Interviews must be sufficient in number to establish the degree of adequacy and accuracy of the records and the nature and extent of any violations. The interviews should also be generally representative of all classifications of employees on the project.
4. **Posting Requirements:** The Contractor shall post the applicable prevailing wage rates and fringe benefits in a conspicuous location at the job site, accessible to all workers.
5. **Right of Inspection:** The Contractor shall allow authorized representatives of the Owner/Agency or relevant labor authority to inspect payroll records and interview workers to ensure compliance.
6. **Withholding of Payments:** The Owner/Agency reserves the right to withhold up to 25% of any payment due to the Contractor until all required certified payrolls are submitted and verified.
7. **Penalties:** Failure to comply with prevailing wage requirements may result in penalties, including but not limited to contract termination, withholding of funds, and legal action.

Van Buren County will review the list of contractors and subcontractors (if applicable) debarred, suspended, or otherwise excluded from receiving federal funds and will not enter a contract with a vendor on this exclusion list.

## Section 2: Background

5 W Main Street is owned by the Van Buren County Land Bank Authority, and this RFP is issued by Van Buren County Land Bank Authority.

With the priority of safety and preventing further decay, Van Buren County Land Bank Authority will be completing stabilization activities, which may include, but is not limited to, debris removal, exterior security materials to deter trespassing and vandalism, and interior and exterior repairs needed to protect against further deterioration, including asbestos containing material abatement, water mitigation, and meet local exterior property maintenance requirements including re-installation of egresses. All work is to be completed in compliance with all federal, state, and local laws, regulations, and ordinances.

The subject building is a 100-plus-year-old building with two stories. The building has approximately 22 ft x 80 ft on each level. The building consists of brick bearing walls with a wood joist floor and framing. Floor framing consists of wood floor planks on 2" x 12" wood floor joists @16" on centers. The building includes a basement with stone-laid walls. The second floor contained residential units which are inaccessible. A structural assessment was performed this year by Abonmarche and is included as Attachment 3.

## Section 3: Scope of Work: Stabilization

Please see attached Structural Assessment from August 2025 and HMI from 2021 and comply with recommended repairs as noted as well as the following activities: General contractor to provide adequate safety, disposal of materials (per local and state regulations), building permit and stamped drawings/plans if necessary, and restroom facilities as needed on the job site. Water can be available, but the electricity is currently inactive through AEP. Abatement activities to happen as needed for stabilization work to occur following all requirements including recording and submitting waste manifests.

### 1. Openings – Doors & Windows

- **Objective:** Remove and dispose of existing, dysfunctional openings and install new doors and windows to ensure proper functionality and security.
- **Tasks:**
  - 1 ground level storefront, commercial door on the south/main street side
    - Full light, aluminum door
  - 1 upper level door on the north side and 2 main level doors on the north side
    - Metal door with partial side light
    - Remove and dispose of door and related material completely. Furnish and install new steel, prehung, insulated door as manufactured by Therma Tru, "Profiles" SERIES 24-Gauge #255HD or similar. New steel door to have a minimum 10-year warranty. Recommend northern climate energy star rated doors. Installation to include new weatherstripping, threshold, and lockset/deadbolt tandem keyed to each other.
    - Provide "GRADE 2" deadbolt and "GRADE 3" cylindrical lockset, or approved equal. New door to have a sill cover or adequately protect door sill during construction. New door to meet all current code requirements.
  - 2 Windows on the 2<sup>nd</sup> floor of north side, 3 openings on the east side of the building, 2 windows on south side, 11 windows on west side, examine other openings for damage and usability and replace if necessary
    - Furnish and install new double hung, stationary, sliding and awning PVC, thermopane replacement window unit as manufactured by Silverline #8500 or approved equal. Windows to have Low "E"/ Argon gas filled glass. New window to meet all current code requirements. Provide new full snap in screen unit. Recommend northern climate energy star rated windows.

### 2. Access & Stability

- **Objective:** Create a stable building (reference structural drawings and report attached by Abonmarche 2025)
- **Tasks:**
  - 2<sup>nd</sup> Floor framing needs to be attached to exterior wall with thru bolts and continuous angle (per report)
  - Build a supporting wall or system to support joists where necessary to complete other stabilization work
    1. Support floor to prevent damage to structure. Furnish and install new beam of adequate size to carry applied loads. Include adequate bearing for new beam including metal support columns and concrete footings as required to properly support beam. Work to be done to ensure proper structural integrity and meet all current code requirements.
  - Build and Frame in supports for basement stair (per report)
  - Insure 2<sup>nd</sup> floor is walkable and patch to create a level surface
  - Repair or replace basement support posts to be plumb and dry with no water damage
  - Build a new, code compliant, safe, structure for 2<sup>nd</sup> floor egress on north side

1. Furnish and install new pressure treated wood landing and new closed, raised pressure treated wood steps. Furnish and install new concrete footings , 2 inch x pressure treated wood beams and 6 inch x 6 inch .60 pressure treated support posts. Include new pressure treated floor system, sized per code, with 2 inch x pressure treated floor joists @ 16" oc, appropriate flashing, fasteners and anchors. Include new 5/4 inch x 6 inch pressure treated floor boards, installed using approved deck screws, flat side down with no space between boards. Include new pressure treated wood guardrail system with 2 inch x 2 inch pressure treated square spindles and 4 inch x 4 inch pressure treated wood support newel posts. Include new pressure treated wood closed, raised stair system with 5/4 inch x 6 inch pressure treated floor boards, pressure treated 1 inch x 8 inch (ripped to size) riser boards and pressure treated handrail system with 2 inch x 2 inch pressure treated square spindles and 4 inch x 4 inch pressure treated newel posts. Include 1 inch x 6 inch pressure treated vertical, enclosed landing skirting. All work to be done to ensure proper structural integrity and meet all current code requirements.
- Install gutters and downspouts with drains where necessary for water control to prevent further decay from water infiltration
  1. Furnish and install new 5-inch gutters, 3-inch downspouts, and 36 inch long extensions. Construct gutters and downspouts of 0.027 gauge seamless aluminum. Provide watertight construction fastened securely to structure.

#### 4. Tuck Pointing

- **Objective:** Remove cracked, broken, and deteriorated mortar. Tuckpoint to provide a sound and watertight wall. Tool joints to match existing adjacent joints. Match color of adjacent mortar.
  - West – roof/parapet repair, base of wall and window openings
  - North – bricks at door and window openings, mortar cracks, and wood framing through wall
  - South – mortar connection between CMU and brick, cornice on top of building
    1. Special Care to be taken to repair and to repoint the south connections to the neighboring walls
  - Foundation walls – repair to make watertight
- **Tasks:**
  - Remove damaged or deteriorated mortar and/or bricks if necessary
  - Apply new mortar to joints.
  - Ensure the new mortar matches the existing mortar in color and texture.
  - Clean the surface to remove any excess mortar.

## Section 4: General Requirements

**Time of Work and Completion.** It is the Van Buren County Land Bank Authority's desire to have all services completed as soon as feasible. Therefore, the contractor should mobilize immediately following contract execution. This work should be finished within a maximum of twenty-four weeks of executing a contract.

**Safety, Security, and Maintenance of Project Sites.** The Selected Bidder shall be responsible for conducting all work in a manner that is protective of human health and the environment. The vendor is responsible for determining and providing its workers with adequate personal protective equipment (PPE), such as but not necessarily limited to respirators and protective clothing.

The Selected Bidder's operations shall not interfere with street traffic and shall be conducted to permit access to emergency vehicles and local right-of-way access to residences and/or businesses.

No restroom facilities are available on site. The Selected Bidder is responsible for determining access to restroom facilities or providing temporary/portable restroom facilities for its workers.

The Selected Bidder shall assume full responsibility for loss or damage to the sites during the entire stabilization period resulting from conditions and all other causes whatsoever due to the acts of neglect by the Contractor or any hired Subcontractors.

The vendor shall notify the Van Buren County Land Bank Authority immediately of any irregularities or changes in the scope of the work.

Before any contract, exceeding \$50,000.00 for the construction, alteration, or repair of any public building or public work or improvement of the state or a county, city, village, township, school district, public educational institution, other political subdivision, public authority, or public agency hereinafter referred to as the "governmental unit" is awarded, the proposed contractor, hereinafter referred to as the "principal contractor" shall furnish at his or her own cost to the governmental unit a performance bond and a payment bond for a total of 100% of the base contract price which shall become binding upon the award of the contract to the principal contractor. Bonds will only be required if the contract amount exceeds \$50,000 to be in alignment with program and county policies. However, this requirement does not imply that bid prices are anticipated to be above \$50,000.

## Section 5: Specifications

This RFP identifies the requirements that are considered the minimum by Van Buren County Land Bank Authority. Specific details described within this RFP notwithstanding, it will be the obligation of the selected vendor to adhere to accepted industry standard methods and practices in completing work and to comply with such local and state laws and regulations as are applicable to this work.

**Bidder Submittals.** The vendor shall submit with their bid copies of all Michigan accreditation cards as issued by the Michigan Department of Labor and Economic Opportunity, for any contractor or subcontractor completing work. A proposed completion schedule for all requested services should also be submitted as part of the bid package. Insurance submittals are also required and discussed in Appendix A.

## **Section 6: Terms and Conditions**

The RFP is not an offer of contract. Receipt of a proposal commits neither Van Buren County Land Bank Authority to award a contract to any vendor, even if all requirements stated in this proposal are met, nor limits the Van Buren County Land Bank Authority's right to negotiate in its best interest.

Van Buren County Land Bank Authority reserves the right to contract a vendor for reasons other than the lowest price. Evaluation of bids may include factors such as price, qualifications, experience, and scheduling.

Expenses incurred in the preparation of proposals in response to this RFP are the bidder's responsibility. Expense plus percent or cost plus percent is not allowable.

No work performed by the Selected Bidder that is out of the scope of this RFP and/or as defined by the vendor's proposal will be reimbursed unless specifically authorized by the Van Buren County Land Bank Authority in writing.

The Selected Bidder, subcontractors, and their employees shall be considered independent contractors and shall not be deemed employees of the Van Buren County Land Bank Authority for any reason.

All proposals are subject to the Michigan Freedom of Information Act. Once the bids are opened, the information contained therein becomes freely accessible to the public.

All required documentation shall be received prior to payment to the Selected Bidder. Payment is anticipated to be NET 45 terms after receipt of the vendor invoice and all required supporting documentation.

See Appendix A for insurance requirements. Subcontractors will be required to maintain the same level of insurance.

## **Section 7: Site Inspection Prior to Bid and Proposal Requirements**

An optional, pre-bid walk through will be held for this project on November 10, 2025 @ 10am. Site access to the premises can be arranged for investigation by Amelia Barker-King at 269-823-3572 or [amelia@bartongroupllc.com](mailto:amelia@bartongroupllc.com) if the pre-bid walk time does not work.

It is Van Buren County Land Bank Authority's understanding that sufficient information is included within this RFP to inform bidding decisions, and a question-and-answer period has been included within the bidding process. Therefore, any misunderstanding of the project scope or level of effort required to complete the requested scope of work will not release the Selected Bidder from any responsibility outlined within this RFP. Change Orders will only be considered for the scope of work clearly outside the scope of this RFP.

The following shall be the minimum contents of the proposal: the completed Bid Form, identification of any subcontractors expected to be retained for the project, a copy of all applicable licenses/accreditations, proof of bid bond, and proof of insurance or a letter from the vendor's insurance company indicating insurance can be obtained in accordance with the specific terms identified in Appendix A.

Three physical, sealed copies of proposals, including attachments, must be delivered by 9:45am on November 21, 2025 to Van Buren County Land Bank Authority, Suite 101 located at 219 E Paw Paw St in Paw Paw..

Request for Proposal  
General Contractor – Stabilization Activities

Bids will be opened by the County and The Barton Group immediately following the submission deadline.

Bids will be considered by members of Van Buren County Land Bank Authority and the Barton Group. It is anticipated, but not required, that a bid decision will be made by December 1, 2025.

Bids submitted may not be withdrawn or modified for 60 days following the date on which they are opened by the County Treasurer unless requested by Van Buren County Land Bank Authority or its representative.

Questions regarding this RFP shall be submitted by email by November 11, 2025 and directed to Amelia Barker-King listed below:

Amelia Barker-King  
The Barton Group  
[Amelia@bartongroupllc.com](mailto:Amelia@bartongroupllc.com)

Responses to questions will be available on November 14, 2025, by the end of day.

**Section 8: Bid Form - Abatement and Stabilization for 5 W Main Street Hartford, MI**

The undersigned hereby declares that the instructions and specifications, including all appendices, have been carefully examined and that the windows, doors, foundation, tuck pointing, and structural sound framing for 5 W Main Street Hartford, MI, will be done for the prices set forth in this bid. It is understood and agreed that all bid prices shall remain in effect for at least sixty (60) days from the date of the bid opening to allow for the award of the bid and that if chosen the bid price remains firm. The undersigned bidder further agrees and understands that Van Buren County reserves the right to reject any and/or all bids and the right to waive irregularities in bidding if it determines such action to be in the best interest of Van Buren County.

|                                 |  |
|---------------------------------|--|
| Bidding Company                 |  |
| Address/City/State/Zip          |  |
| Phone and E-mail                |  |
| Authorized Representative/Title |  |
| Signature                       |  |
| Date                            |  |

|   |    |  |
|---|----|--|
| General requirements and stabilization scope of work cost |    |  |
| Abatement cost  |    |  |
|   |    |  |
| TOTAL BID   | \$ |  |
| Proposed Completion Schedule (may be attached)            |    |  |
|   |    |  |

Please check the following:

- I acknowledge that the work for stabilization will be furnished within a maximum of 24 weeks from executing a contract.

**Additional Questions required to complete the Bid Form. Information to be provided in a supplemental document.**

1. How is your company organized (corporation, partnership, etc.) and how long have you been in business? List the name and contact information of the owner, president, managing partner, or CEO.
2. Please provide the name and work experience of the Project Manager you are assigning to this contract. This Project Manager will be the main contact for the county and will oversee contract compliance, timeliness, and work quality.
3. Attach any professional licenses/certifications of the company or employees assigned to this contract as applicable to this project.
4. Attach a list of proposed subcontractors. List of subcontractors (company name, address, phone, email, and all owner/principal name(s)) and the tasks for which they will be used. The VBLBA will determine whether each proposed subcontractor is eligible to do business on a federally funded contract and will inform the contractor if any are ineligible.
5. Has your company had a similar contract terminated for cause within the last three years? If yes, please explain.
6. Has your company received any violations in the last five years? If yes, please list and explain how the violations were resolved.
7. Please provide the names, phone numbers, and email addresses of at least three customers for whom you have completed similar services within the last five years. If possible, these customers should be government or public entities.
8. Attach a 5% bid bond.

I hereby state that I have the authority to submit this Proposal on behalf of the undersigned. I hereby state that I have not communicated with, nor accepted anything of value from, any official or employee of Van Buren County regarding this Request for Proposals.

This Bid is Presented By:

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Authorized By (Printed Name/Title)

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Date

### Section 9: Non-Iran Business Certification

Pursuant to Michigan law (Iran Economic Sanctions Act, Michigan PA 517 of 2012), before accepting any bid or proposal or entering into any contract for goods and services with any prospective vendor, the County must obtain certification from the vendor that it is not an "Iran-Linked Business."

By signing below, I certify and agree on behalf of the company submitting this form and myself the following: (1) that I am duly authorized to legally bind the company submitting this proposal; (2) that the company submitting this proposal is not an "Iran Linked Business," as that term is defined in Section 2(E) of the Iran Economic Sanctions Act, Michigan PA 517 of 2012; and (3) that I and the company submitting this proposal will immediately comply with any further certifications or information submissions requested by the county in this regard.

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Company Name

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Authorized By (Printed Name/Title)

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Authorized Signature

---

Date

## **APPENDIX A — Insurance Requirements**

The Selected Bidder, and all their subcontractors, shall not commence work under this contract until they have obtained the insurance required under this attachment and provided proof of insurance to Van Buren County Land Bank Authority. All coverages shall be with insurance companies licensed and admitted doing business in the State of Michigan. All coverages shall be with insurance carriers acceptable to Van Buren County Land Bank Authority.

**Workers' Compensation Insurance:** The Vendor shall procure and maintain during the life of this contract Workers' Compensation Insurance, including Employers' Liability Coverage, in accordance with all applicable statutes of the State of Michigan.

**Commercial General Liability Insurance:** The Vendor shall procure and maintain during the life of this contract, Commercial General Liability Insurance on an "Occurrence Basis" with limits of liability not less than \$1,000,000 per occurrence and aggregate combined single limit for Personal Injury, Bodily Injury, and Property Damage. Coverage shall include the following extensions: (A) Contractual Liability; (B) Products and Completed Operations; (C) Independent Contractors Coverage; (D) Broad Form General Liability Extensions or equivalent, if not already included (E) Deletion of all Explosion, Collapse, and Underground (XCU) Exclusions, if applicable.

**Motor Vehicle Liability:** The Vendor shall procure and maintain during the life of this contract Motor Vehicle Liability Insurance, including Michigan No-Fault Coverage, with limits of liability not less than \$1,000,000 per occurrence combined single limit for Bodily Injury, and Property Damage. Coverage shall include all owned vehicles, all non-owned vehicles, and all hired vehicles.

**Additional Insured:** Commercial General Liability, as described above, shall include an endorsement stating that the following shall be Additional Insureds: Van Buren County, all elected and appointed officials, all employees and volunteers, all boards, commissions, and/or authorities and board members, including employees and volunteers thereof; The Barton Group, and Fishbeck.

**Cancellation Notice:** Workers' Compensation Insurance, Commercial General Liability Insurance, and Motor Vehicle Liability Insurance, as described above, shall include an endorsement stating the following: "It is understood and agreed that Thirty (30) days Advance Written Notice of Cancellation, Non-Renewal, Reduction, and/or Material Change shall be sent to: [Amelia@bartongroupllc.com](mailto:Amelia@bartongroupllc.com)

**APPENDIX B — Bidder's Checklist**

|  | Checklist Items   |
|--|---|
|  | 1. Completely reviewed this Invitation to Bid document and understand all requirements. You must return the complete Bid Form and required attachments. |
|  | 2. Calendar check — sealed bid package must be submitted by November 14, 2025, at 9:45 A.M.   |
|  | 3. Completed required Bid Form and required attachments (pg. 8–10) and returned with Bid Packet.  |
|  | 4. Completed required non-Iran linked business certification form (pg. 11) and returned with Bid Packet.  |
|  | 5. Required attachment — proof of insurance or proof of insurability from insurance agent,  |
|  | 6. Required attachment – Bid bond   |

## Attachment 1 – Required Federal and State Provisions

On March 11, 2021, the Coronavirus State and Local Fiscal Recovery Funds (“SLFRF”) were established, as part of the American Rescue Plan Act (“ARP”), to support the response to a recovery from the COVID-19 pandemic. Pursuant to the SLFRF, ARP funding was directed to the State of Michigan (the “State”) which appropriated a portion to the SLBA for the purpose of creating a Program to address the impacts of COVID-19. The State of Michigan (by 2023 P.A. 1) appropriated a portion of this funding to the State Land Bank Authority’s (“SLBA”) Blight Elimination Program for this purpose (“Program Funds”). The VBCLBA has received grant funding from the SLBA’s Blight Elimination Program to fund activities which are the subject matter of the Agreement to which this Exhibit pertains. As a recipient of Program Funds, the VBCLBA is obligated to ensure that the use of these federal funds complies with SLFRF. Pursuant to this obligation, this Agreement and Contractor are therefore subject to the following additional Federal and State Requirements:

**A. RECORDKEEPING REQUIREMENTS.** Generally, all contractors and subcontractors must maintain records and financial documents related to this contract until at least December 31, 2031. U.S. Treasury may request the transfer of records of long-term value at the end of such period. Wherever practicable, such records should be collected, transmitted, and stored in open and machine-readable formats. See generally, 2 CFR 200.334 through 200.338.

All contractors and subcontractors must agree to provide or make available such records to Treasury upon request, and to the Government Accountability Office (GAO), Treasury’s Office of Inspector General (OIG), and their authorized representative to conduct audits or other investigations.

**B. UNIFORM GUIDANCE.** Under the Final Rule issued by the U.S. Department of the Treasury (Treasury) referenced at <https://home.treasury.gov/system/files/136/SLFRF-Final-Rule-FAQ.pdf>, this contract is subject to the requirements set forth in the Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards, (the “Uniform Guidance”) at 2 CFR 200.317 through 200.327. All payments requested under this program should be accounted for with supporting documentation. All contractors and subcontractors should maintain documentation evidence that the Program Funds were expended in accordance with federal, state, and local regulations.

**C. TERMINATION/RECOVERY OF PROGRAM FUNDS.** Treasury requires any Program Funds received pursuant to this Agreement, and any attachments that are expended in a manner that fails to comply with SLFRF and all other applicable laws to be returned to Treasury. The State reserves the right to monitor the Subrecipient and their contractors and subcontractors and take such corrective action for noncompliance as it deems necessary and appropriate, including but not limited to, termination of the Grant Agreement and return of Program Funds previously provided thereunder.

### **D. TERMINATION FOR CAUSE.**

A. This Agreement may be terminated by the VBCLBA, for among other things, as follows:

- a. Upon 10 days written notice to the Contractor:
  - i. If the Contractor fails to comply with any of the material terms and conditions of the Agreement;
  - ii. If Contractor knowingly and willingly presents false information to the VBCLBA for the purpose of obtaining this Agreement or any payment under this Agreement;
  - iii. If the VBCLBA finds that the Contractor, or any of Contractor’s agents or representatives, offered or gave gratuities, favors, or gifts of monetary value to any official, employee, or agent of the VBCLBA in an attempt to secure a subcontract or favorable treatment in awarding, amending, or making any determinations related to the performance of this Agreement;
  - iv. During the 10-day written notice period, the VBCLBA shall also withhold payment for any findings under subparagraphs i-iii, above;

- v. If Contractor or any contractor, subcontractor, manufacturer, or supplier of Contractor appears in the register of persons engaging in unfair labor practices that are compiled by the Michigan Department of Licensing and Regulatory Affairs (LARA) or its successor; or
  - vi. Fails to cure a breach within the time period specified in a notice of breach provided by the VBCLBA.
- b. Immediately and without further liability to the VBCLBA if Contractor, or any agent of Contractor, or any agent of any contractor or subcontractor is:
  - i. Convicted of a criminal offense incident to the application for or performance of a State, public, or private contract or subcontract;
  - ii. Convicted of a criminal offense, including but not limited to any of the following: embezzlement, theft, forgery, bribery, falsification or destruction of records, receiving stolen property, or attempting to influence a public employee to breach the ethical conduct standards for State of Michigan employees;
  - iii. Convicted under State or federal antitrust statutes;
  - iv. Convicted of any other criminal offense that, in the sole discretion of the VBCLBA, reflects on Contractor's business integrity; or
  - v. Added to the federal or state Suspension and Debarment list.
- B. If the Agreement is terminated for cause, or if the VBCLBA is required to repay to the state or federal government all or a portion of the Blight Elimination Grant Funding utilized pursuant to this Agreement because of Contractor's failure to comply with all of this Agreement's terms and conditions (including any and all federal requirements), then the VBCLBA reserves the right to require the Contractor to repay all or a portion of the funds paid to it under this Agreement.
- C. Contractor must pay all reasonable costs incurred by the VBCLBA in terminating this Agreement for cause, including administrative costs, attorneys' fees and court costs, costs to complete the work specified in the Scope of Work, and any additional costs the VBCLBA incurs.
- D. If the VBCLBA terminates this Agreement for cause and it is determined, for any reason, that Contractor was not in breach of the Agreement, the termination will be deemed to have been a termination for convenience as provided in this Agreement, effective as of the same date, and the rights and obligations of the parties will be limited to those provided in that Section.

**E. TERMINATION FOR CONVENIENCE.** The VBCLBA may fully or partially terminate this Agreement for its convenience, for any reason or no reason, if the VBCLBA determines that a termination is in the VBCLBA's best interest. Reasons for the termination are within the sole discretion of the VBCLBA and may include: (a) the VBCLBA no longer needs the activities or deliverables specified in this Agreement; (b) a relocation of office, program changes, or changes in laws, rules, or regulations make the deliverable(s) no longer practical or feasible for the VBCLBA; (c) unacceptable prices for Agreement changes; or (d) falsification or misrepresentation, by inclusion or non-inclusion, of information material to a response to any RFP issued by the VBCLBA. The VBCLBA may terminate this Agreement for its convenience by giving Contractor notice at least thirty (30) days before the date of termination. If the VBCLBA chooses to terminate this Agreement in part, any charges payable to the Contractor must be equitably adjusted to reflect those deliverable(s) that are terminated.

**F. EQUAL EMPLOYMENT OPPORTUNITY.** Except as otherwise provided under 41 CFR Part 60, all contracts that meet the definition of "federally assisted construction contract" in 41 CFR Part 60-1.3 must include the equal opportunity clause provided under 41 CFR Part 60-1.4(b), in accordance with Executive Order 11246, "Equal Employment Opportunity" (30 FR 12319, 12935, 3 CFR Part 1964-1965 Comp., p. 339), as amended by Executive Order 11375, "Amending Executive Order 11246 Relating to Equal Employment Opportunity," and implementing regulations at 41 CFR Part 60, "Office of Federal Contract Compliance Programs, Equal Employment Opportunity, Department of Labor."

**G. DAVIS–BACON ACT**, as amended (40 U.S.C. 3141–3148). When required by Federal program legislation, all prime construction contracts in excess of \$2,000 awarded by non–Federal entities must include a provision for compliance with the Davis–Bacon Act (40 U.S.C. 3141–3144, and 3146–3148) as supplemented by Department of Labor regulations (29 CFR Part 5, “Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction”). In accordance with the statute, contractors must be required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the U.S. Secretary of Labor. In addition, contractors must be required to pay wages not less than once a week. The non–Federal entity must place a copy of the current prevailing wage determination issued by the Department of Labor in each solicitation. The decision to award a contract or subcontract must be conditioned upon the acceptance of the wage determination. The non–Federal entity must report all suspected or reported violations to the Federal awarding agency.

**H. COPELAND “ANTI–KICKBACK” ACT** (40 U.S.C. 3145), as supplemented by Department of Labor regulations (29 CFR Part 3, “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”). The Act provides that each contractor or Subrecipient must be prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. The non–Federal entity must report all suspected or reported violations to the Federal awarding agency.

**I. DEBARMENT AND SUSPENSION** (Executive Orders 12549 and 12689). A contract or grant award (see 2 CFR 180.220) must not be made to parties listed on the governmentwide exclusions in the System for Award Management (SAM), in accordance with the OMB guidelines at 2 CFR 180 that implement Executive Orders 12549 (3 CFR Part 1986 Comp., p. 189) and 12689 (3 CFR Part 1989 Comp., p. 235), “Debarment and Suspension.” SAM Exclusions contains the names of parties debarred, suspended, or otherwise excluded by agencies, as well as parties declared ineligible under statutory or regulatory authority other than Executive Order 12549. All contractors and subcontractors must be vetted for debarment. If debarment action has been taken against the contractor, the contract shall be terminated. If debarment action has been taken against any subcontractor, the contractor shall provide an alternative subcontractor within 10 days of notification. The debarred subcontractor may not work on the project.

**J. DOMESTIC PREFERENCES FOR PROCUREMENTS** (2 CFR 200.322).

a. As appropriate and to the extent consistent with law, the non–Federal entity should, to the greatest extent practicable under a federal award, provide a preference for the purchase, acquisition, or use of goods, products, or materials produced in the United States (including but not limited to iron, aluminum, steel, cement, and other manufactured products). The requirements of this section must be included in all subawards including all contracts and purchase orders for work or products under this award.

b. For purposes of this section:

(i) “Produced in the United States” means, for iron and steel products, that all manufacturing processes, from the initial melting stage through the application of coatings, occurred in the United States.

(ii) “Manufactured products” means items and construction materials composed in whole or in part of non-ferrous metals such as aluminum; plastics and polymer-based products such as polyvinyl chloride pipe; aggregates such as concrete; glass, including optical fiber; and lumber.

**K. CONFLICT OF INTEREST** (2 CFR 200.318 and 24 CFR 570.611). The general rule is that no persons who exercise or have exercised any functions or responsibilities with respect to activities assisted, or who are in a position to participate in a decision making process or gain inside information with regard to such activities, may obtain a financial interest or benefit from an assisted activity, or have a financial interest in any contract, subcontract, or agreement with respect to an assisted activity, or with respect to the proceeds of the assisted activity, either for themselves or those with whom they have business or immediate family ties, during their tenure or for one year

thereafter.

**L. CONTRACT WORK HOURS AND SAFETY STANDARDS ACT** (40 U.S.C. 3701–3708). Where applicable, all contracts awarded in excess of \$100,000 that involve the employment of mechanics or laborers must include a provision for compliance with 40 U.S.C. 3702 and 3704, as supplemented by Department of Labor regulations (29 CFR Part 5). Under 40 U.S.C. 3702 of the Contract Work Hours and Safety Standards Act, each contractor must be required to compute the wages of every mechanic and laborer on the basis of a standard work week of 40 hours. Work in excess of the standard work week is permissible provided that the worker is compensated at a rate of not less than one and a half times the basic rate of pay for all hours worked in excess of 40 hours in the work week. The requirements of 40 U.S.C. 3704 are applicable to construction work and provide that no laborer or mechanic must be required to work in surroundings or under working conditions which are unsanitary, hazardous, or dangerous. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence.

**M. BYRD ANTI-LOBBYING AMENDMENT** (31 U.S.C. 1352). Contractors that apply or bid for an award exceeding \$100,000 must file the required certification. Each tier certifies to the tier above that it will not and has not used Federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any Federal contract, grant or any other award covered by 31 U.S.C. 1352. Each tier must also disclose any lobbying with non-Federal funds that takes place in connection with obtaining any Federal award. Such disclosures are forwarded from tier to tier up to the non-Federal award.

**N. CLEAN AIR ACT** (42 U.S.C. 7401–7671q) and the Federal Water Pollution Control Act (33 U.S.C. 1251–1387) as amended. Contracts, grant agreements, and subgrants of amounts in excess of \$150,000 must agree to comply with all applicable standards, orders, or regulations issued pursuant to the Clean Air Act (42 U.S.C. 7401–7671q) and the Federal Water Pollution Control Act, as amended (33 U.S.C. 1251–1387). Violations must be reported to the Federal awarding agency and the Regional Office of the Environmental Protection Agency (EPA).

**O. LEAD RENOVATION, REPAIR, AND PAINTING PROGRAM**

Prohibition of Use of Lead-Based Paint. The construction or rehabilitation of residential structures is subject to the HUD Lead-Based Paint regulations promulgated at 24 CFR Part 35, 24 CFR 570.608, and 24 CFR Section 745, Subpart E, as applicable. The Contractor and his/her subcontractors shall comply with the provisions for the notification and elimination of lead-based paint hazards of said regulations.

**P. PROCUREMENT OF RECOVERED MATERIALS** (2 CFR 200.323). A non-Federal entity that is a state agency or agency of a political subdivision of a state and its contractors must comply with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act. The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR Part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition, where the purchase price of the item exceeds \$10,000 or the value of the quantity acquired during the preceding fiscal year exceeded \$10,000; procuring solid waste management services in a manner that maximizes energy and resource recovery; and establishing an affirmative procurement program for procurement of recovered materials identified in the EPA guidelines.

## **Attachment 2 – Wage Determinations**

"General Decision Number: MI20250099 09/12/2025

Superseded General Decision Number: MI20240099

State: Michigan

Construction Type: Building

County: Van Buren County in Michigan.

BUILDING CONSTRUCTION PROJECTS (does not include single family homes or apartments up to and including 4 stories).

Note: Contracts subject to the Davis-Bacon Act are generally required to pay at least the applicable minimum wage rate required under Executive Order 14026 or Executive Order 13658. Please note that these Executive Orders apply to covered contracts entered into by the federal government that are subject to the Davis-Bacon Act itself, but do not apply to contracts subject only to the Davis-Bacon Related Acts, including those set forth at 29 CFR 5.1(a)(1).

|   |   |
|---|---|
| If the contract is entered into on or after January 30, 2022, or the contract is renewed or extended (e.g., an option is exercised) on or after January 30, 2022: | . Executive Order 14026 generally applies to the contract.<br>. The contractor must pay all covered workers at least \$17.75 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on the contract in 2025.  |
| If the contract was awarded on or between January 1, 2015 and January 29, 2022, and the contract is not renewed or extended on or after January 30, 2022:         | . Executive Order 13658 generally applies to the contract.<br>. The contractor must pay all covered workers at least \$13.30 per hour (or the applicable wage rate listed on this wage determination, if it is higher) for all hours spent performing on that contract in 2025. |

The applicable Executive Order minimum wage rate will be adjusted annually. If this contract is covered by one of the Executive Orders and a classification considered necessary for performance of work on the contract does not appear on this wage determination, the contractor must still submit a conformance request.

Additional information on contractor requirements and worker protections under the Executive Orders is available at <http://www.dol.gov/whd/govcontracts>.

| Modification Number | Publication Date |
|---------------------|------------------|
| 0                   | 01/03/2025       |
| 1                   | 01/24/2025       |

|    |            |
|----|------------|
| 2  | 02/21/2025 |
| 3  | 04/04/2025 |
| 4  | 04/11/2025 |
| 5  | 05/23/2025 |
| 6  | 06/06/2025 |
| 7  | 07/04/2025 |
| 8  | 07/18/2025 |
| 9  | 08/08/2025 |
| 10 | 08/22/2025 |
| 11 | 08/29/2025 |
| 12 | 09/12/2025 |

ASBE0047-002 07/01/2025

|  | Rates    | Fringes |
|--|----------|---------|
| ASBESTOS WORKER/HEAT & FROST<br>INSULATOR..... | \$ 40.00 | 23.65   |

BOIL0169-001 07/01/2025

|                  | Rates    | Fringes |
|------------------|----------|---------|
| BOILERMAKER..... | \$ 43.50 | 36.74   |

BRMI0009-031 08/01/2024

|                    | Rates    | Fringes |
|--------------------|----------|---------|
| BRICKLAYER.....    | \$ 35.21 | 24.26   |
| TILE FINISHER..... | \$ 26.24 | 21.13   |
| TILE SETTER.....   | \$ 27.35 | 22.20   |

CARP0525-013 06/01/2023

|   | Rates    | Fringes |
|---|----------|---------|
| CARPENTER (Including<br>Acoustical Ceiling<br>Installation, Drywall<br>Hanging, Form Work, Metal<br>Stud Installation & Scaffold<br>Builder)..... | \$ 28.29 | 21.42   |

CARP1102-001 06/01/2025

|                 | Rates    | Fringes |
|-----------------|----------|---------|
| MILLWRIGHT..... | \$ 40.04 | 26.47   |

ELEC0131-001 06/01/2025

|   | Rates    | Fringes |
|---|----------|---------|
| ELECTRICIAN<br>Excludes Low Voltage Wiring. | \$ 42.78 | 21.84   |

ENGI0324-015 06/01/2024

|                           | Rates    | Fringes |
|---------------------------|----------|---------|
| OPERATOR: Power Equipment |          |         |
| GROUP 1.....              | \$ 47.28 | 25.25   |
| GROUP 2.....              | \$ 43.93 | 25.25   |
| GROUP 3.....              | \$ 41.28 | 25.25   |

|              |          |       |
|--------------|----------|-------|
| GROUP 4..... | \$ 39.57 | 25.25 |
| GROUP 5..... | \$ 39.57 | 25.25 |
| GROUP 6..... | \$ 33.71 | 25.25 |
| GROUP 7..... | \$ 31.23 | 25.25 |

FOOTNOTES:

Crane operator with main boom and jib 300' or longer: \$1.50 per hour above the group 1 rate.  
 Crane operator with main boom and jib 400' or longer: \$3.00 per hour above the group 1 rate.

PAID HOLIDAYS: New Year's Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day and Christmas Day.

POWER EQUIPMENT OPERATOR CLASSIFICATIONS

GROUP 1: Crane operator with main boom and jib 400', 300', or 220' or longer.

GROUP 2: Crane operator with main boom and jib 140' or longer, tower crane, gantry crane, whirley derrick

GROUP 3: Backhoe/Excavator/Trackhoe; Concrete Pump; Crane; Grader/Blade; Highlift; Hoist; Loader; Roller; Scraper; Stiff Leg Derrick; Trencher; stiff leg derrick

GROUP 4: Bobcat/Skid Loader; Broom/Sweeper; Fork Truck (over 20' lift)

GROUP 5: Boom Truck (non-swinging)

GROUP 6: Fork Truck (20' lift and under for masonry work)

GROUP 7: Oiler

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 IRON0025-005 06/01/2025

|                               | Rates    | Fringes |
|-------------------------------|----------|---------|
| IRONWORKER (REINFORCING)..... | \$ 36.55 | 29.51   |
| IRONWORKER (STRUCTURAL).....  | \$ 36.55 | 29.51   |

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 LAB00355-024 06/01/2025

|  | Rates    | Fringes |
|--|----------|---------|
| LABORER<br>Common or General; Grade<br>Checker; Mason Tender -<br>Cement/Concrete;<br>Sandblaster..... | \$ 27.21 | 13.45   |
| Pipelayer.....   | \$ 20.34 | 12.85   |

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 PAIN0845-013 06/01/2025

|   | Rates    | Fringes |
|---|----------|---------|
| PAINTER: Brush and Roller.....            | \$ 27.07 | 16.46   |
| PAINTER: Drywall<br>Finishing/Taping..... | \$ 27.32 | 16.72   |
| PAINTER: Spray.....                       | \$ 27.07 | 16.56   |

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 PLAS0016-006 04/01/2014

|  | Rates    | Fringes |
|--|----------|---------|
| CEMENT MASON/CONCRETE FINISHER<br>Twps of Bloomingdale,<br>Waverly, Paw Paw, Decatur,<br>Porter, Antwerp, Almena &<br>Pinegrove..... | \$ 22.31 | 12.83   |
| Twps of South Haven,<br>Covert, Geneva, Bangor,<br>Hartford, Keeler,<br>Hamilton, Lawrence,<br>Arlington & Columbia.....             | \$ 24.63 | 12.88   |

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\* PLUM0357-007 07/01/2025

|  | Rates    | Fringes |
|--|----------|---------|
| PIPEFITTER, Includes HVAC<br>Pipe and Unit Installation..... | \$ 32.50 | 24.97   |
| PLUMBER, Excludes HVAC Pipe<br>and Unit Installation.....    | \$ 32.50 | 24.97   |

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ROOF0070-002 06/01/2025

|             | Rates    | Fringes |
|-------------|----------|---------|
| ROOFER..... | \$ 33.98 | 18.51   |

-----  
SFMI0669-001 01/01/2025

|  | Rates    | Fringes |
|--|----------|---------|
| SPRINKLER FITTER (Fire<br>Sprinklers)..... | \$ 41.34 | 27.39   |

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SHEE0007-010 05/01/2024

|  | Rates    | Fringes |
|--|----------|---------|
| SHEET METAL WORKER (HVAC Duct<br>Installation Only)..... | \$ 42.74 | 21.53   |

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\* SUMI2011-024 02/01/2011

|   | Rates       | Fringes |
|---|-------------|---------|
| IRONWORKER, ORNAMENTAL.....   | \$ 18.48    | 7.93    |
| LABORER: Landscape &<br>Irrigation.....                                 | \$ 10.38 ** | 0.50    |
| LABORER: Mason Tender - Brick...  | \$ 20.29    | 7.22    |
| OPERATOR: Bulldozer.....  | \$ 19.68    | 6.64    |
| OPERATOR: Tractor.....  | \$ 19.10    | 8.48    |
| SHEET METAL WORKER, Excludes<br>HVAC Duct and Unit<br>Installation..... | \$ 24.56    | 7.20    |
| TRUCK DRIVER, Includes Dump<br>and Tandem Truck.....                    | \$ 17.26 ** | 11.42   |

TRUCK DRIVER: Lowboy Truck.....\$ 14.50 \*\* 0.44

TRUCK DRIVER: Tractor Haul  
Truck.....\$ 13.57 \*\* 1.18

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WELDERS - Receive rate prescribed for craft performing  
operation to which welding is incidental.

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\*\* Workers in this classification may be entitled to a higher  
minimum wage under Executive Order 14026 (\$17.75) or 13658  
(\$13.30). Please see the Note at the top of the wage  
determination for more information. Please also note that the  
minimum wage requirements of Executive Order 14026 are not  
currently being enforced as to any contract or subcontract to  
which the states of Texas, Louisiana, or Mississippi, including  
their agencies, are a party.

Note: Executive Order (EO) 13706, Establishing Paid Sick Leave  
for Federal Contractors applies to all contracts subject to the  
Davis-Bacon Act for which the contract is awarded (and any  
solicitation was issued) on or after January 1, 2017. If this  
contract is covered by the EO, the contractor must provide  
employees with 1 hour of paid sick leave for every 30 hours  
they work, up to 56 hours of paid sick leave each year.  
Employees must be permitted to use paid sick leave for their  
own illness, injury or other health-related needs, including  
preventive care; to assist a family member (or person who is  
like family to the employee) who is ill, injured, or has other  
health-related needs, including preventive care; or for reasons  
resulting from, or to assist a family member (or person who is  
like family to the employee) who is a victim of, domestic  
violence, sexual assault, or stalking. Additional information  
on contractor requirements and worker protections under the EO  
is available at  
<https://www.dol.gov/agencies/whd/government-contracts>.

Unlisted classifications needed for work not included within  
the scope of the classifications listed may be added after  
award only as provided in the labor standards contract clauses  
(29CFR 5.5 (a) (1) (iii)).

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The body of each wage determination lists the classifications  
and wage rates that have been found to be prevailing for the  
type(s) of construction and geographic area covered by the wage  
determination. The classifications are listed in alphabetical  
order under rate identifiers indicating whether the particular  
rate is a union rate (current union negotiated rate), a survey  
rate, a weighted union average rate, a state adopted rate, or a  
supplemental classification rate.

#### Union Rate Identifiers

A four-letter identifier beginning with characters other than  
"SU", "UAVG", "SA", or "SC" denotes that a union rate was  
prevailing for that classification in the survey. Example:  
PLUM0198-005 07/01/2024. PLUM is an identifier of the union  
whose collectively bargained rate prevailed in the survey for  
this classification, which in this example would be Plumbers.  
0198 indicates the local union number or district council

number where applicable, i.e., Plumbers Local 0198. The next number, 005 in the example, is an internal number used in processing the wage determination. The date, 07/01/2024 in the example, is the effective date of the most current negotiated rate.

Union prevailing wage rates are updated to reflect all changes over time that are reported to WHD in the rates in the collective bargaining agreement (CBA) governing the classification.

#### Union Average Rate Identifiers

The UAVG identifier indicates that no single rate prevailed for those classifications, but that 100% of the data reported for the classifications reflected union rates. EXAMPLE:

UAVG-OH-0010 01/01/2024. UAVG indicates that the rate is a weighted union average rate. OH indicates the State of Ohio. The next number, 0010 in the example, is an internal number used in producing the wage determination. The date, 01/01/2024 in the example, indicates the date the wage determination was updated to reflect the most current union average rate.

A UAVG rate will be updated once a year, usually in January, to reflect a weighted average of the current rates in the collective bargaining agreements on which the rate is based.

#### Survey Rate Identifiers

The "SU" identifier indicates that either a single non-union rate prevailed (as defined in 29 CFR 1.2) for this classification in the survey or that the rate was derived by computing a weighted average rate based on all the rates reported in the survey for that classification. As a weighted average rate includes all rates reported in the survey, it may include both union and non-union rates. Example: SUFL2022-007 6/27/2024. SU indicates the rate is a single non-union prevailing rate or a weighted average of survey data for that classification. FL indicates the State of Florida. 2022 is the year of the survey on which these classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. The date, 6/27/2024 in the example, indicates the survey completion date for the classifications and rates under that identifier.

?SU? wage rates typically remain in effect until a new survey is conducted. However, the Wage and Hour Division (WHD) has the discretion to update such rates under 29 CFR 1.6(c)(1).

#### State Adopted Rate Identifiers

The "SA" identifier indicates that the classifications and prevailing wage rates set by a state (or local) government were adopted under 29 C.F.R 1.3(g)-(h). Example: SAME2023-007 01/03/2024. SA reflects that the rates are state adopted. ME refers to the State of Maine. 2023 is the year during which the state completed the survey on which the listed classifications and rates are based. The next number, 007 in the example, is an internal number used in producing the wage determination. The date, 01/03/2024 in the example, reflects the date on which the classifications and rates under the ?SA? identifier took effect under state law in the state from which the rates were adopted.

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WAGE DETERMINATION APPEALS PROCESS

1) Has there been an initial decision in the matter? This can be:

- a) a survey underlying a wage determination
- b) an existing published wage determination
- c) an initial WHD letter setting forth a position on a wage determination matter
- d) an initial conformance (additional classification and rate) determination

On survey related matters, initial contact, including requests for summaries of surveys, should be directed to the WHD Branch of Wage Surveys. Requests can be submitted via email to [davisbaconinfo@dol.gov](mailto:davisbaconinfo@dol.gov) or by mail to:

Branch of Wage Surveys  
Wage and Hour Division  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

Regarding any other wage determination matter such as conformance decisions, requests for initial decisions should be directed to the WHD Branch of Construction Wage Determinations. Requests can be submitted via email to [BCWD-Office@dol.gov](mailto:BCWD-Office@dol.gov) or by mail to:

Branch of Construction Wage Determinations  
Wage and Hour Division  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

2) If an initial decision has been issued, then any interested party (those affected by the action) that disagrees with the decision can request review and reconsideration from the Wage and Hour Administrator (See 29 CFR Part 1.8 and 29 CFR Part 7). Requests for review and reconsideration can be submitted via email to [dba.reconsideration@dol.gov](mailto:dba.reconsideration@dol.gov) or by mail to:

Wage and Hour Administrator  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210

The request should be accompanied by a full statement of the interested party's position and any information (wage payment data, project description, area practice material, etc.) that the requestor considers relevant to the issue.

3) If the decision of the Administrator is not favorable, an interested party may appeal directly to the Administrative Review Board (formerly the Wage Appeals Board). Write to:

Administrative Review Board  
U.S. Department of Labor  
200 Constitution Avenue, N.W.  
Washington, DC 20210.

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END OF GENERAL DECISION"



### Attachment 3 – Pictures



Request for Proposal  
General Contractor – Stabilization Activities



**Attachment 4 – Structural Assessment from Abonmarche (2025)**

September 2, 2025

Ms. Trisha Nesbitt  
Treasurer  
Van Buren County Treasurer's Office  
219 E. Paw Paw Street, Suite 101  
Paw Paw, Michigan 49079

CC:  
Ms. Amelia Barker-King  
President  
The Barton Group  
2255 W Centre Ave., Suite 212  
Portage, MI 49024

Re: 5 Main Street, Hartford, Michigan  
Structural Evaluation  
AB# 25-0401

Dear Ms. Nesbitt,

On July 15th, 2025, we performed a site visit to the existing building at 5 Main Street in Hartford, Michigan. The purpose of our site visit was to review the condition of the existing structure and provide a structural evaluation based on our observations. This evaluation can be considered an addendum to our original evaluation that was provided on July 21, 2021. Our observations and recommendations are as follows.

**Observations:**

The building footprint is approximately 22 feet by 80 feet. The building consists of a lower level below grade with two floors above. The lower level walls are of stone construction. The first and second floor framing consists of wood floor planks on 2x wood joists at 16" spacing. The floor framing spans east-to-west and is supported by exterior load bearing brick walls. The current exterior east brick wall was once a shared load bearing wall and supported an existing structure that has since collapsed and been demolished. It is likely that the collapsed/demolished building had a lower level that has been infilled.

Since our previous site visit in 2021 some additional work/demolition has been performed.

1. The single-story building attached to the west side of the building has been removed.
2. The wood framed addition on the north side of the building has been removed.
3. The exposed joist pockets on the west side of the building have been infilled and a coating has been applied to the surface of the wall. It is our understanding that the rotted wood sill plate was removed and the coating consists of a fiber reinforced stucco.

The lower level walls and framing appear to be in good condition. The basement was noticeably damp and evidence of water infiltration was visible. The posts supporting the framing around the opening have water damage at their base and do not appear to be installed plumb (Photo 1).

Access to the underside of the second floor framing was obtained through a small mezzanine on the north side of the building. The majority of the framing was covered by a ceiling, therefore no assessment of the condition of the second floor framing could be made. There is currently no means of access to the second floor or roof of the building. Therefore no assessment of the condition of the roof framing or roof system could be made. In our previous report it was recommended that the second floor framing be attached to the exterior wall with through bolts and a continuous angle. It did not appear that this work was done.

The west side of the building consists of exposed brick and appears to be deteriorating along the roof parapet elevation (Photo 2). Cracked, spalled, and missing bricks were observed along the length of the parapet cap on the west side of the building. Missing bricks were also observed along the base of the wall and around window openings (Photo 3)(Photo 4)(Photo 5).

With the removal of the wood framed addition on the north side of the building the brick wall is now exposed. Numerous loose bricks were observed at and around the door openings. Loose bricks are being used as infill for the lower level window openings (Photo 6). Numerous cracks in the mortar joints were observed in the wall. There is existing wood framing protruding through the wall at the first floor elevation that was cut off as part of the demolition of the north stair (Photo 7).

The south face of the building is constructed with concrete masonry units (CMU). The south wall is built integrally with the west wall with intermittent CMU's mortared to the brick (Photo 8). There is a gap between the south and west walls and the south wall appears to be separating from the building. The cornice at the top of the wall appears to be cracked and broken (Photo 9).

#### **Recommendations:**

The moisture in the lower level is not an immediate structural concern. However, if the basement is intended to be occupied we recommend waterproofing the perimeter of the lower level wall.

We recommend removing and replacing the framing that supports the basement stair opening. Details for this repair can be found in the attached repair drawings.

We recommend that the second floor framing be attached to the exterior brick walls per the detail provided in our initial report and also included in the attached repair drawings.

We recommend that access to the roof be provided to determine what the condition of the existing roof is and determine if any water is infiltrating into the roof framing. The brick along the top of the roof parapet should be repaired. It is possible that water is passing through the deteriorating brick at the parapet elevation and causing damage to the roof framing.

We recommend that all loose and missing bricks be reset and/or replaced where necessary. These locations are primarily along the west and north walls. All deteriorated mortar joints should be repointed. The existing wood framing protruding out of the north wall should be removed and the resulting opening should be infilled with new brick. The contractor should verify that the framing is not part of the existing floor framing on the inside of the building. If it is found to be part of the floor framing it should be cut back sufficiently such that at least one brick wythe can be installed over it.



Once all the brick and CMU walls have been repaired further maintenance of the brick would be reduced by the addition of a metal panel siding system applied to the entire building to protect the brick from the elements.

We recommend that all the joints connecting the south CMU wall to the east and west brick walls are repointed to ensure a positive connection between the two walls. The vertical joint between the walls should be filled with backer rod and sealed. We recommend that the connection between the wall and the second and third floor framing be investigated. The CMU wall should be attached to the floor and roof framing per the detail in the attached drawings. The cornice at the top of the south wall should be investigated more closely. We recommend that any broken, cracked, or loose pieces be removed. They appear to be hazards to pedestrians on the sidewalk below and should be repaired or removed as soon as possible.

It is likely that the east lower level foundation wall was not intended to be an exterior foundation wall and the lateral load created by the infilled basement of the demolished building exceeds the capacity of the wall. We recommend that if any future work is to be done on the existing lot on the east side of the building that no construction/paving/heavy equipment be permitted within a 10'-0" wide strip directly adjacent to the building. The intent of this recommendation is to prevent any additional surcharge loading of the existing foundation wall. An alternative to this recommendation would be to provide bracing and stabilize the basement wall. The design of the wall stabilization would be dependent on the future development plan for the lot to the east.

Please see the attached repair drawings. These drawings are not intended to detail each and every location that requires repair. They are intended to provide general repair guidelines.

If you have any questions, please feel free to contact our office.

Sincerely,

ABONMARCHE CONSULTANTS, INC.



Report Reviewed by  
Bryan Webster, PE, LEED AP  
Director of Structural Engineering Michigan



Report prepared by  
Cal Dunham, PE  
Senior Structural Engineer

Attachments: Photos, Repair Drawings



PHOTOS:



Photo 1: Floor framing at lower level stair.



Photo 2: Top of parapet along west side of building.





Photo 3: Missing brick along west side of building.



Photo 4: Missing brick along west side of building.





Photo 5: Missing brick around window on west side of building.



Photo 6: Missing and loose bricks on north side of building.





Photo 7: Floor framing embedded in brick wall.



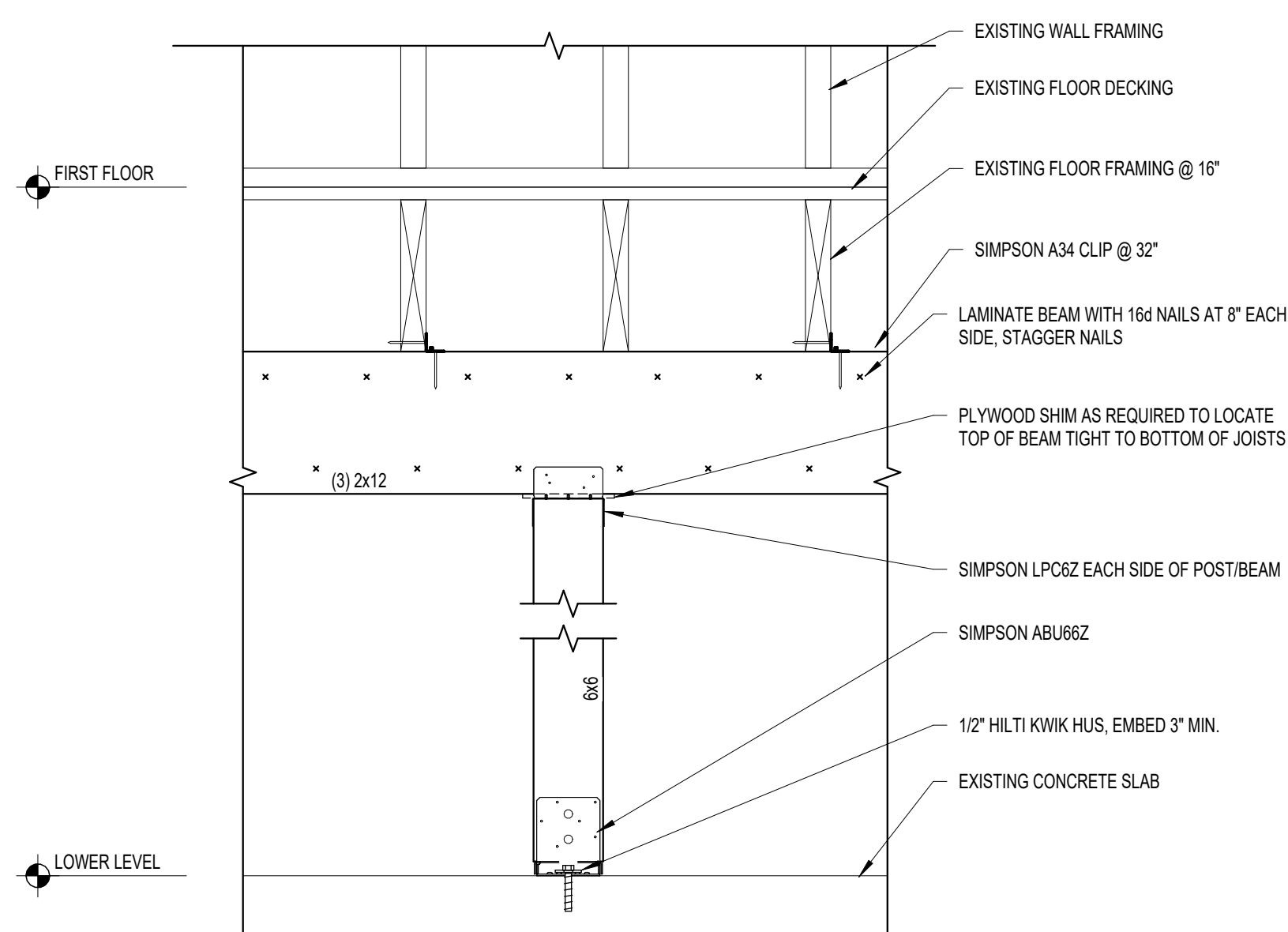
Photo 8: Southwest corner of the building. CMU wall appears to be separating from the brick wall.



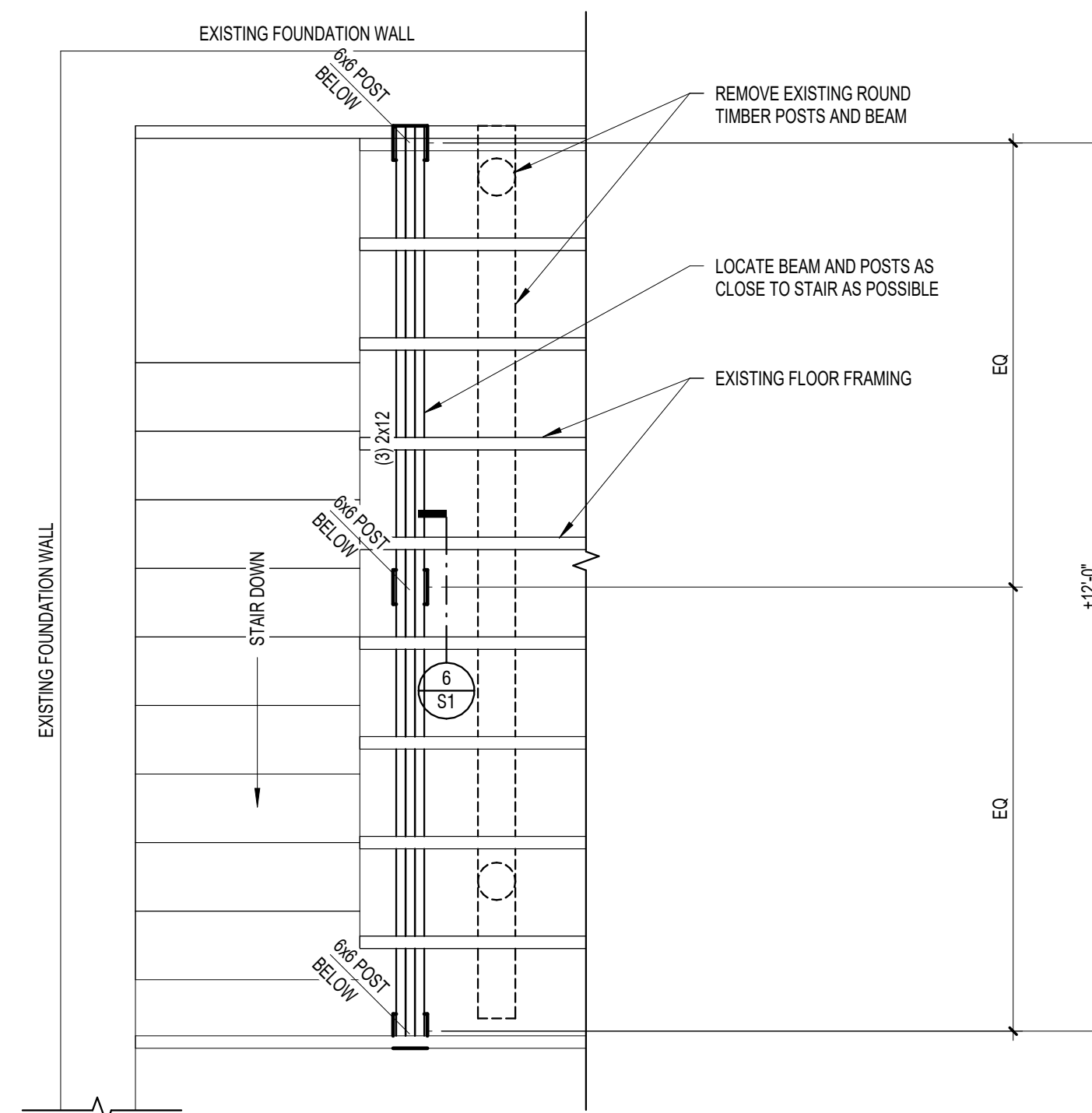


Photo 9: Cornice along top of south wall is broken.

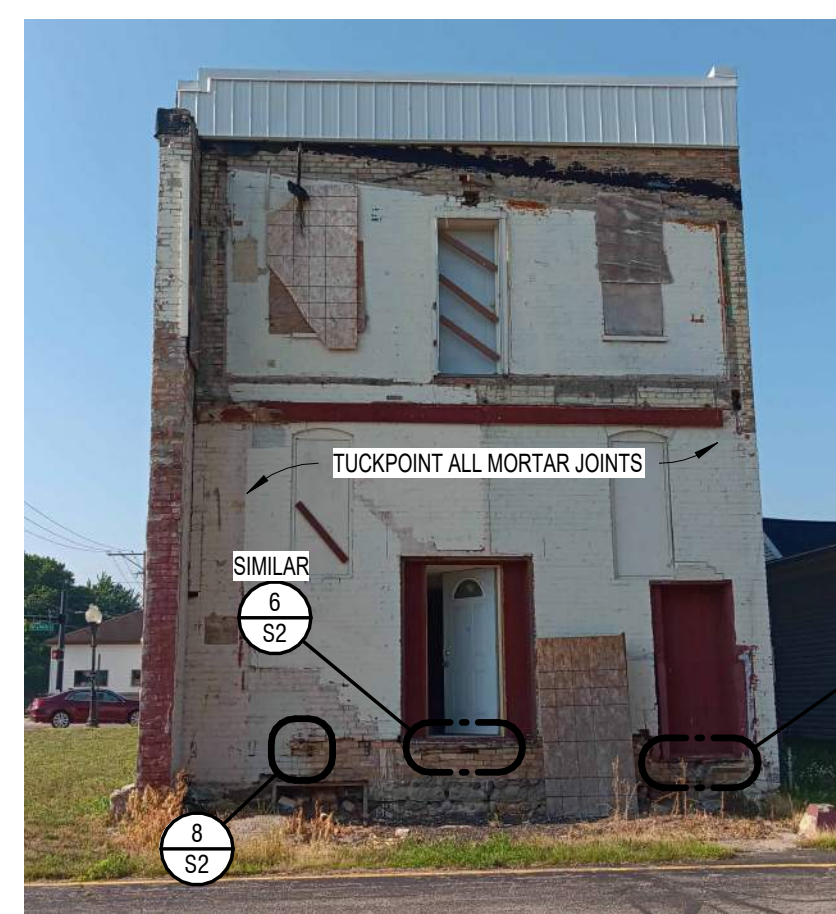




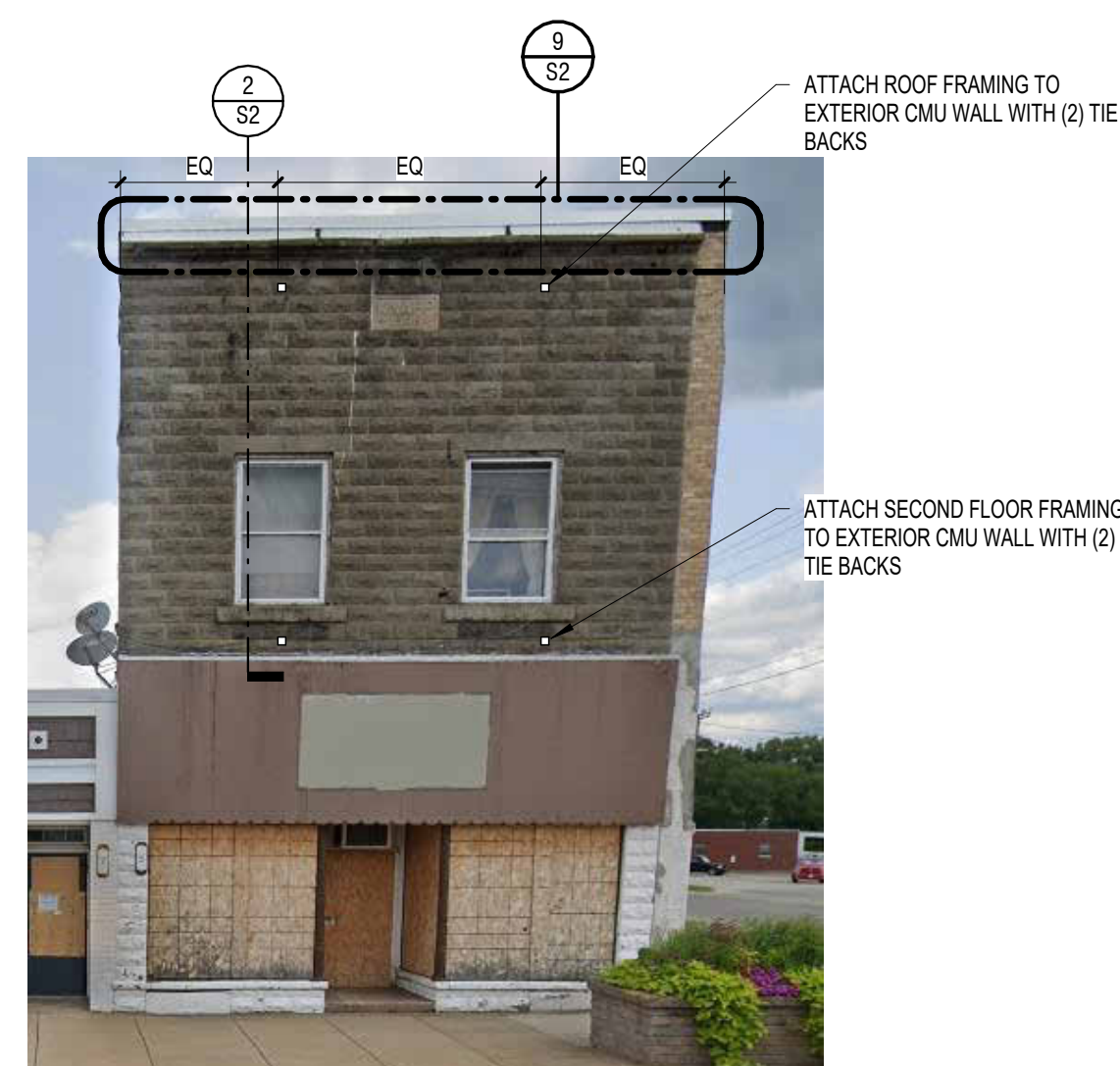
6 STAIR FRAMING REPAIR DETAIL  
 SCALE: 1" = 1'-0"



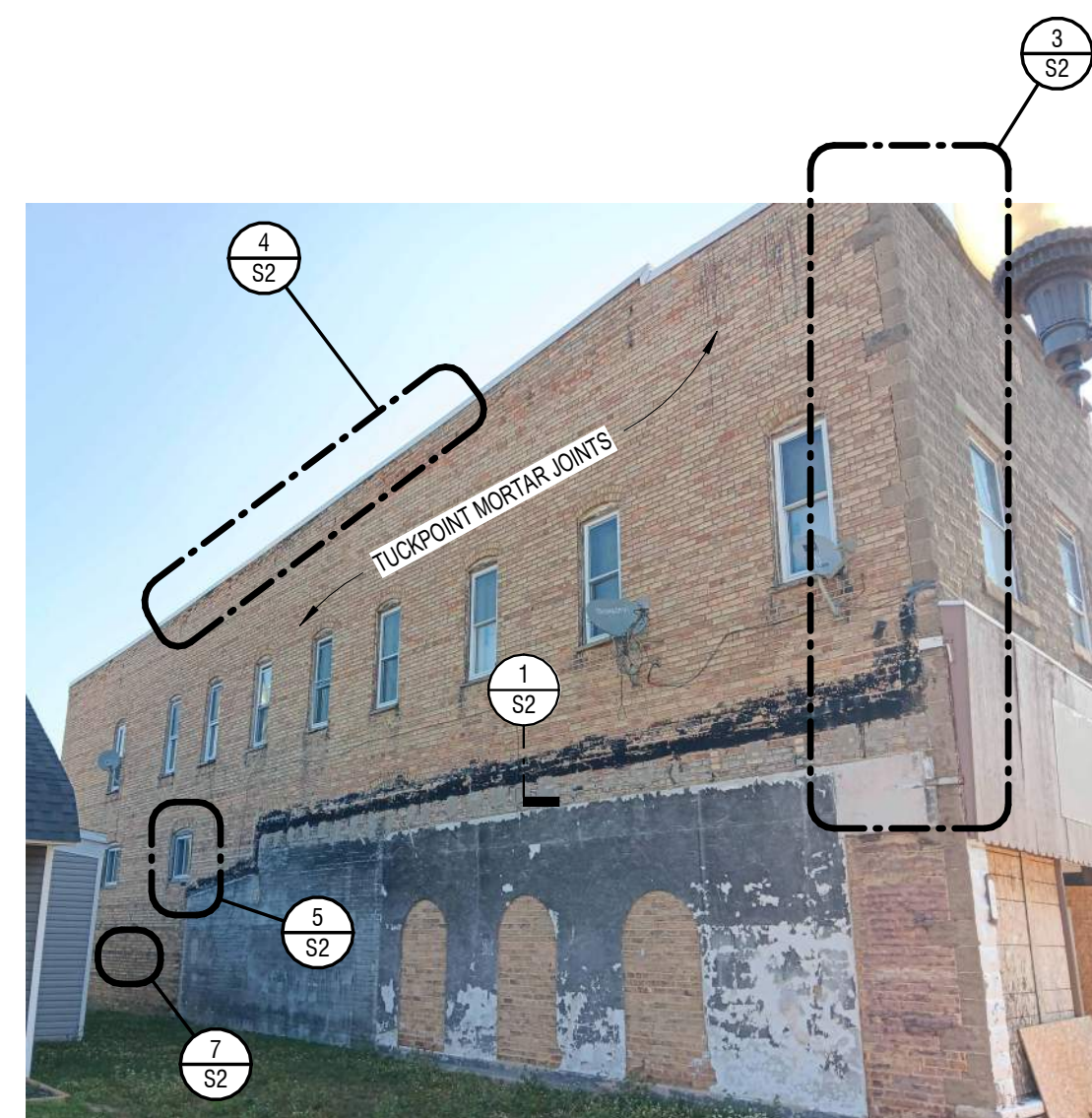
5 FIRST FLOOR STAIR FRAMING PLAN  
 SCALE: 1/2" = 1'-0"



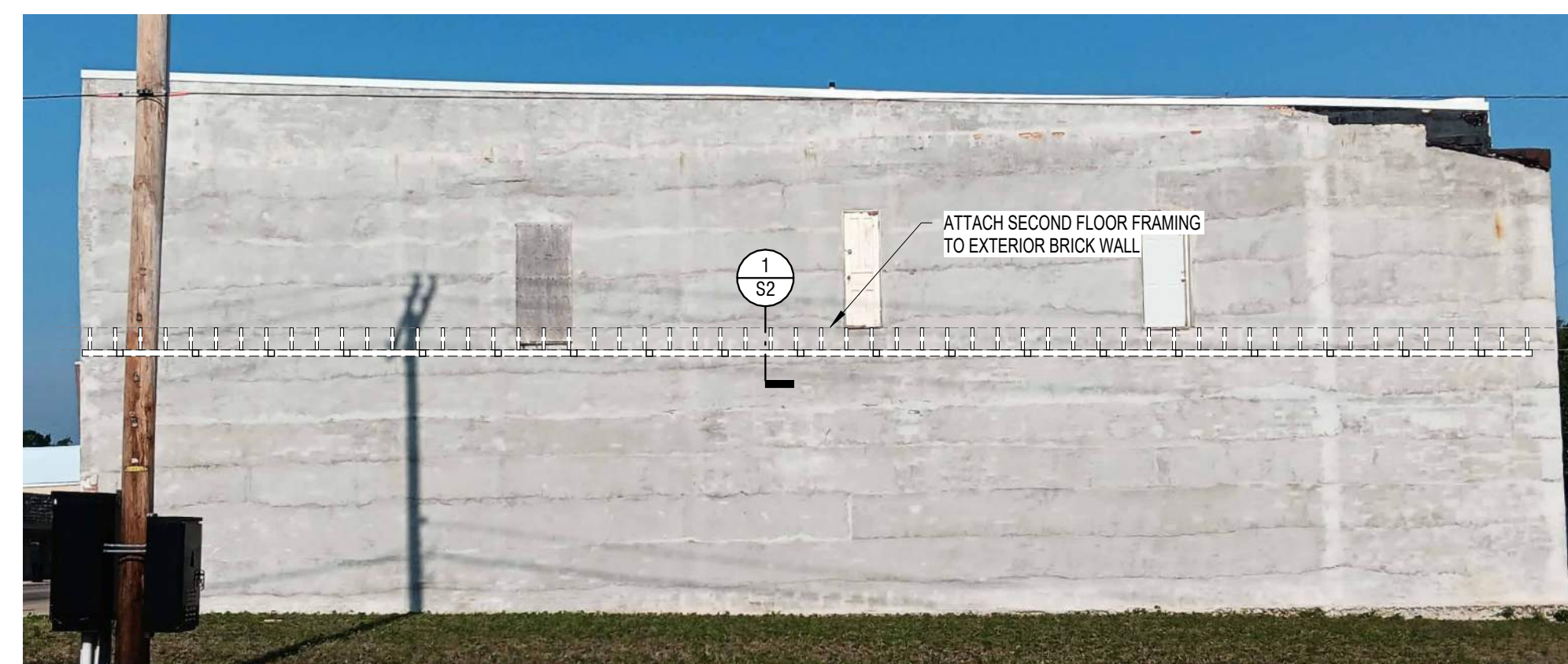
4 NORTH ELEVATION  
 SCALE: 1/8" = 1'-0"



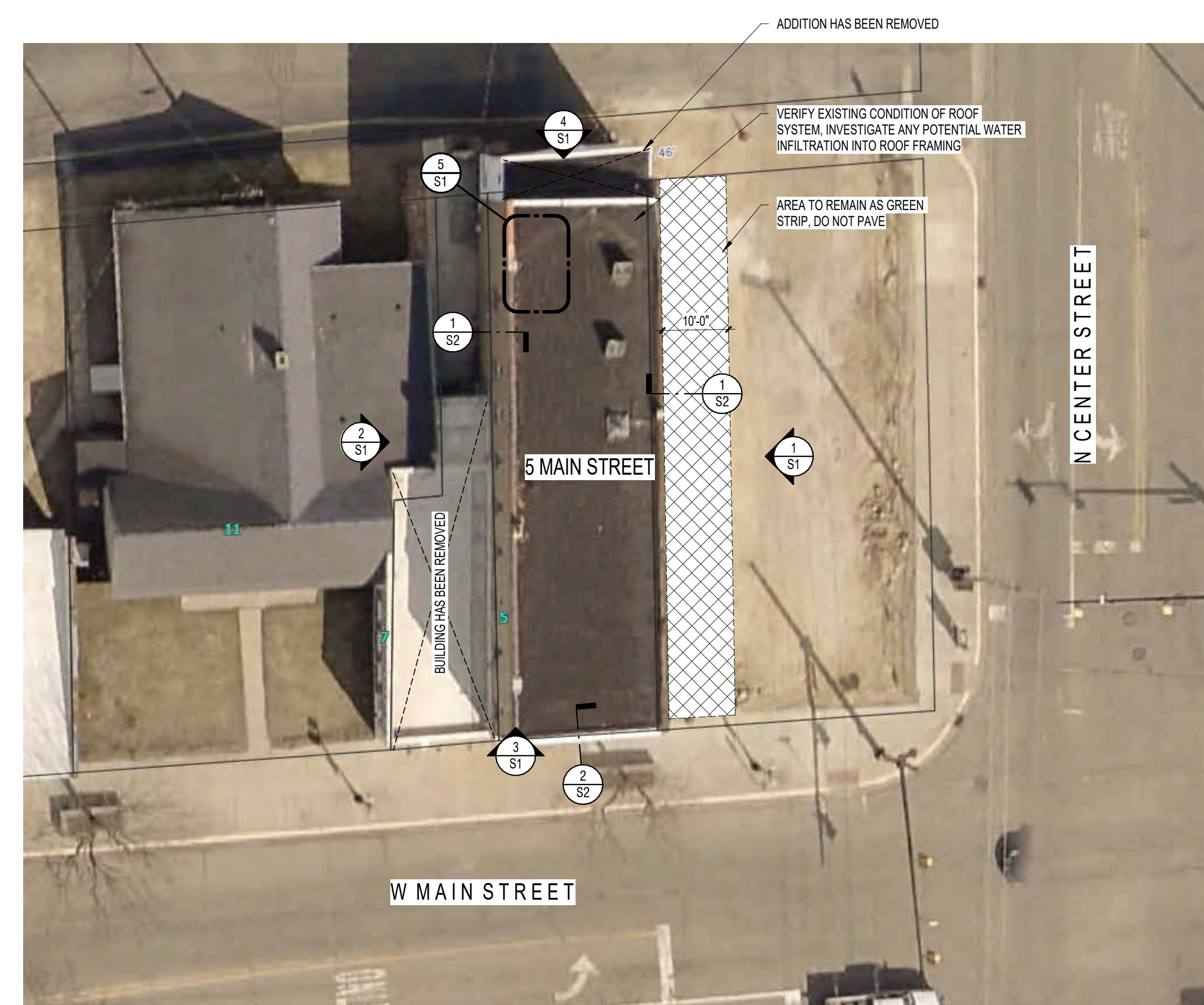
3 SOUTH ELEVATION  
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION  
 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION  
 SCALE: 1/8" = 1'-0"



PLAN VIEW  
 SCALE: 1/16" = 1'-0"

NOTES:

- VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING WORK.
- PROTECT ALL EXISTING WORK WHICH IS TO REMAIN AND RESTORE IN AN APPROVED MANNER ANY SUCH WORK WHICH BECOMES DAMAGED.
- ALL TEMPORARY SHORING REQUIRED DURING REPAIR IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING FRAMING CONDITIONS INSIDE THE BUILDING WERE NOT OBSERVABLE AND ARE ASSUMED. CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- THE REPAIR DETAILS ON THESE DRAWINGS ARE INTENDED TO BE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO IDENTIFY EACH AND EVERY LOCATION THAT REQUIRES REPAIR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM A SITE VISIT AND OBSERVE THE EXISTING CONDITIONS PRIOR TO PROVIDING THE OWNER WITH CONSTRUCTION COSTS.
- MASONRY REPAIR SHOULD BE PERFORMED BY A MASONRY CONTRACTOR QUALIFIED IN THE PRESERVATION OF EXISTING BRICK STRUCTURES.
- BRICK REPOINTING:
  - REMOVE LOOSE MORTAR FROM JOINTS NOT LESS THAN THAT REQUIRED TO EXPOSE SOUND, UN-WEATHERED MORTAR.
  - DO NOT DAMAGE OR SPALL EDGES OF ADJACENT MASONRY UNITS OR WIDEN JOINTS. REPLACE ALL MASONRY UNITS THAT BECOME DAMAGED.
  - RINSE MASONRY JOINT SURFACES THAT ARE TO BE REPOINTED.
  - APPLY MORTAR IN TIGHTLY PACKED THIN LAYERS (1/4" MAXIMUM).
  - TOOL JOINTS TO MATCH EXISTING.
  - CLEAN ALL WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION RECOMMENDATIONS.
- BRICK REPLACEMENT:
  - REMOVE EXISTING BRICKS IN A MANNER WHICH WILL NOT DISTURB ADJACENT MASONRY TO REMAIN.
  - SUPPORT AND PROTECT ALL EXISTING CONSTRUCTION THAT SURROUNDS THE WORK AREA.
  - REMOVE LOOSE DIRT AND DEBRIS.
  - DAMPEN BRICK SURFACES BEFORE NEW MASONRY UNITS ARE PLACED.
  - NEW BRICK MASONRY SHOULD HAVE SUFFICIENT MORTAR TO COMPLETELY FILL IN HEAD JOINTS AND BED JOINTS.
  - TOOL EXPOSED JOINTS TO MATCH EXISTING.
  - MASONRY BONDS, COURSING, JOINTING, AND TOOLING SHALL MATCH EXISTING.
  - CLEAN ALL WORK IN ACCORDANCE WITH THE BRICK INDUSTRY ASSOCIATION RECOMMENDATIONS.
- WOOD FRAMING TO MEET NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY AF & PA, TIMBER CONSTRUCTION STANDARDS BY AITC.
- DIMENSION LUMBER FOR FRAMING SHALL BE SPRUCE-PINE-FIR (SPF), NO. 1/NO. 2 OR BETTER, UNLESS NOTED OTHERWISE. ALLOWABLE STRESSES PER 2015 SUPPLEMENT TO THE 2015 EDITION OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.
- ALL METAL HANGERS AND CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUIVALENT AND BE OF THE SIZE AND TYPE RECOMMENDED BY THE MANUFACTURER.
- ALL HEADERS AND BUILT-UP DIMENSION LUMBER BEAMS SHALL BE GLUED AND NAILED AT 8" O.C. STAGGERED BOTH SIDES WITH 16D NAILS, UNLESS SPECIFICALLY NOTED OTHERWISE (SEE NOTES BELOW).
- MATERIAL STANDARDS:
  - WOOD FRAMING - SPRUCE-PINE-FIR  
 GRADE = NO. 1/NO. 2, F<sub>b</sub> = 875 psi, F<sub>v</sub> = 135 psi, E = 1.4x10<sup>6</sup> psi
  - STEEL ANGLES AND PLATES = ASTM A572 Gr. 50
  - THREADED ROD = ASTM A307

NOT FOR CONSTRUCTION

REPAIR DETAILS

**ABONMARCHÉ**  
 315 W. JEFFERSON BLVD  
 FORT MYERS, FL 33901  
 T 813.232.8700  
 abonmarche.com

Consulting  
 Design  
 Construction  
 Management  
 Construction Management  
 Fort Myers

PROJECT:  
**Structural Evaluation for  
 Van Buren County Land Bank**  
 5 Main Street - Hartford, Michigan 49057

SHEET TITLE: \_\_\_\_\_  
 MODELED BY: \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_  
 PM REVIEW: \_\_\_\_\_  
 QA/QC REVIEW: \_\_\_\_\_  
 DATE: 2025.09.02  
 SEAL: \_\_\_\_\_  
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 DATE: \_\_\_\_\_  
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 ACI JOB # 25-0401  
 SHEET NO. S1

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9 REPAIR DETAIL  
S2 SCALE: 1/2" = 1'-0"



8 REPAIR DETAIL  
S2 SCALE: 1 1/2" = 1'-0"

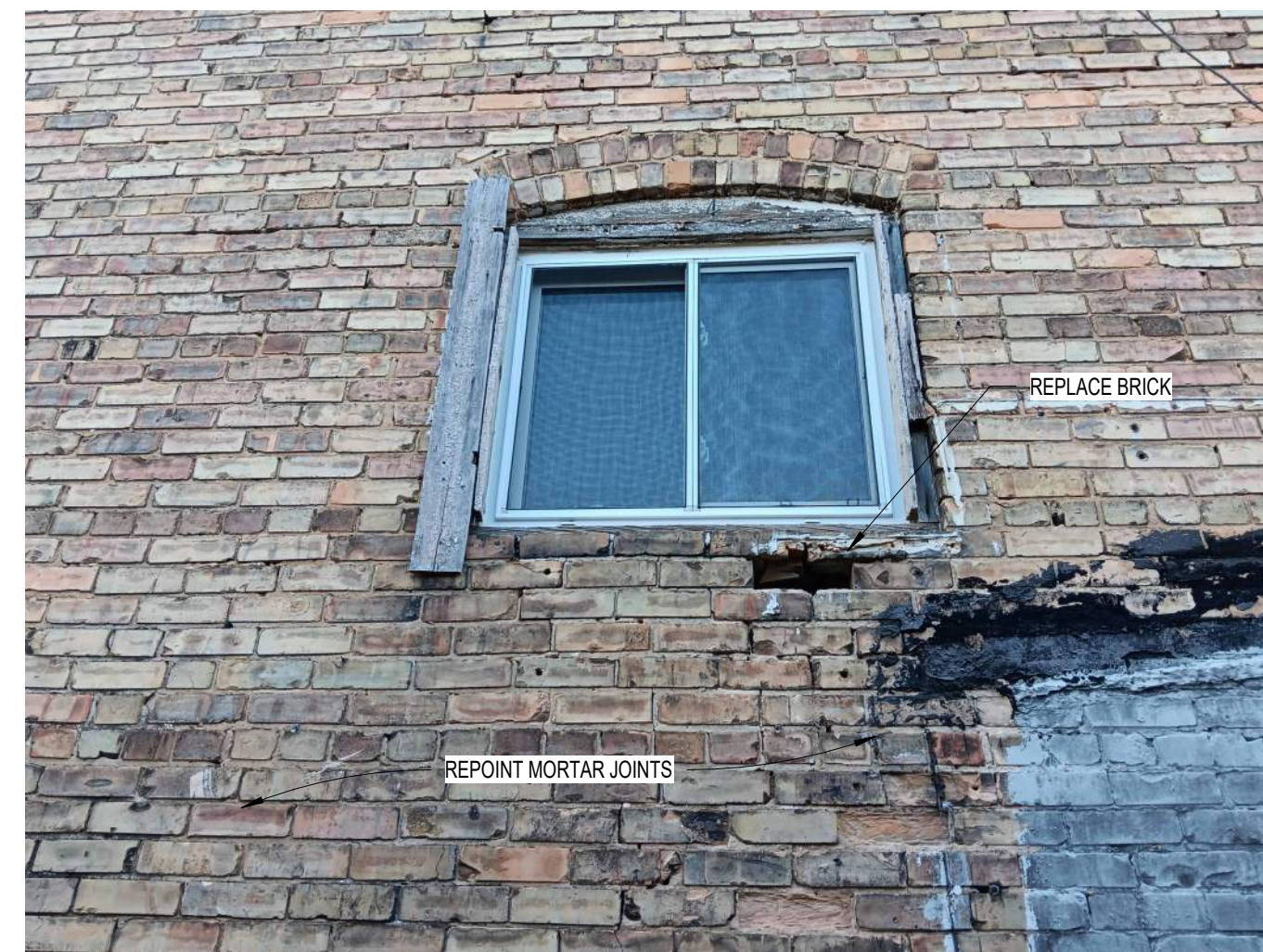


7 REPAIR DETAIL  
S2 SCALE: 1 1/2" = 1'-0"

REMOVE AND RESET ALL LOOSE BRICK, REPLACE MISSING BRICK, REPOINT ALL MORTAR JOINTS, TYPICAL FOR ENTIRE WALL



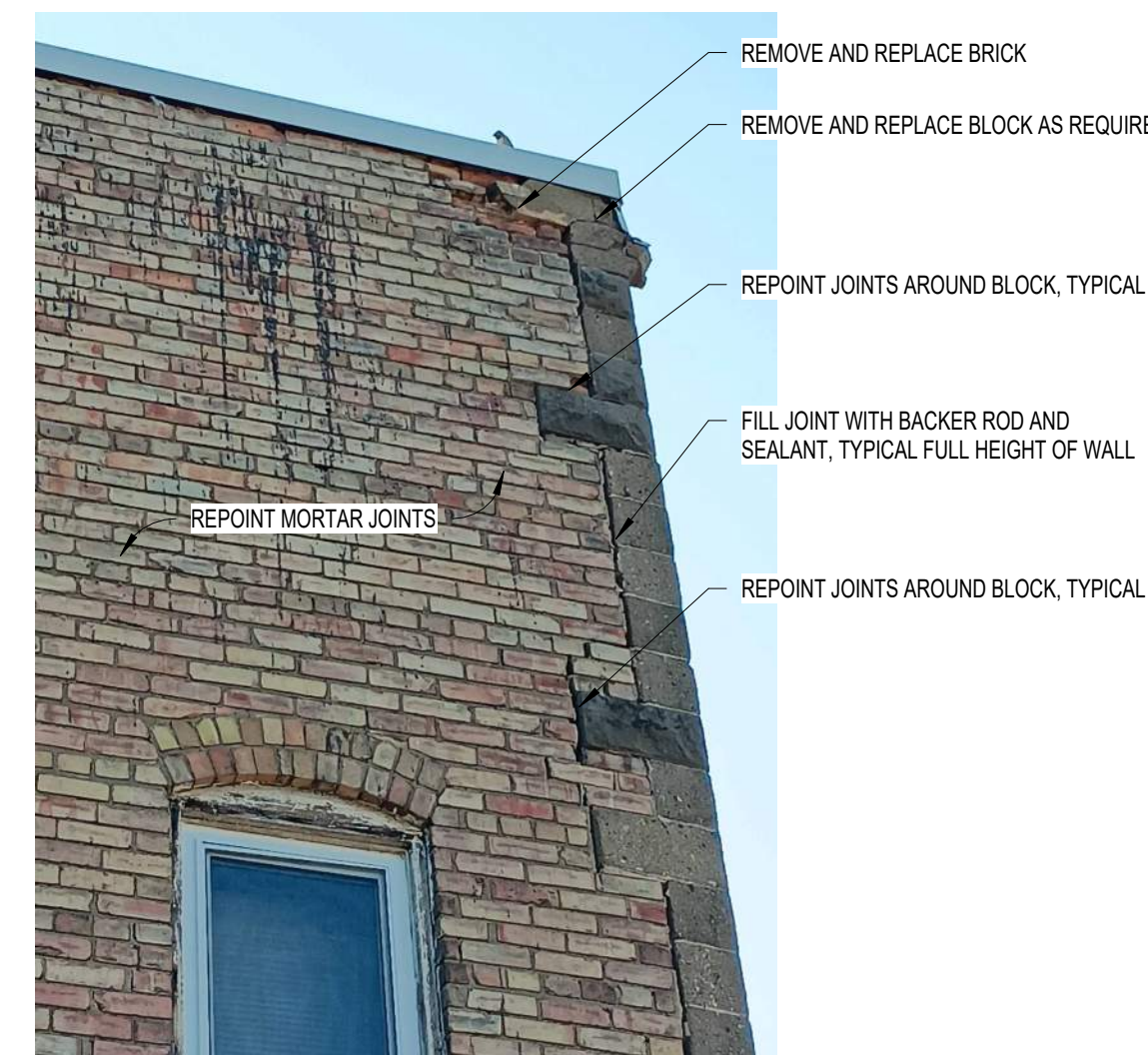
6 REPAIR DETAIL  
S2 SCALE: 1 1/2" = 1'-0"



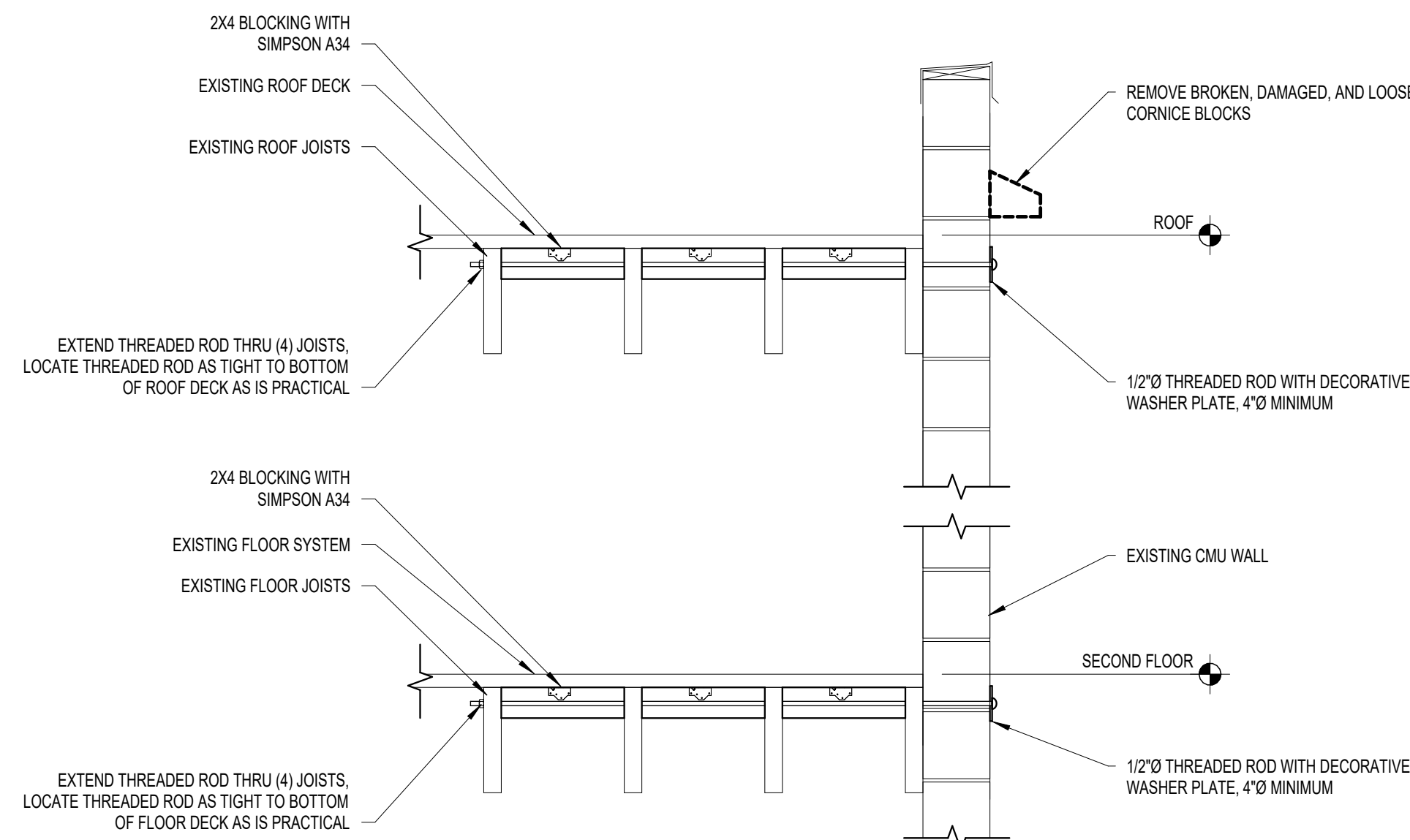
5 REPAIR DETAIL  
S2 SCALE: 3/4" = 1'-0"



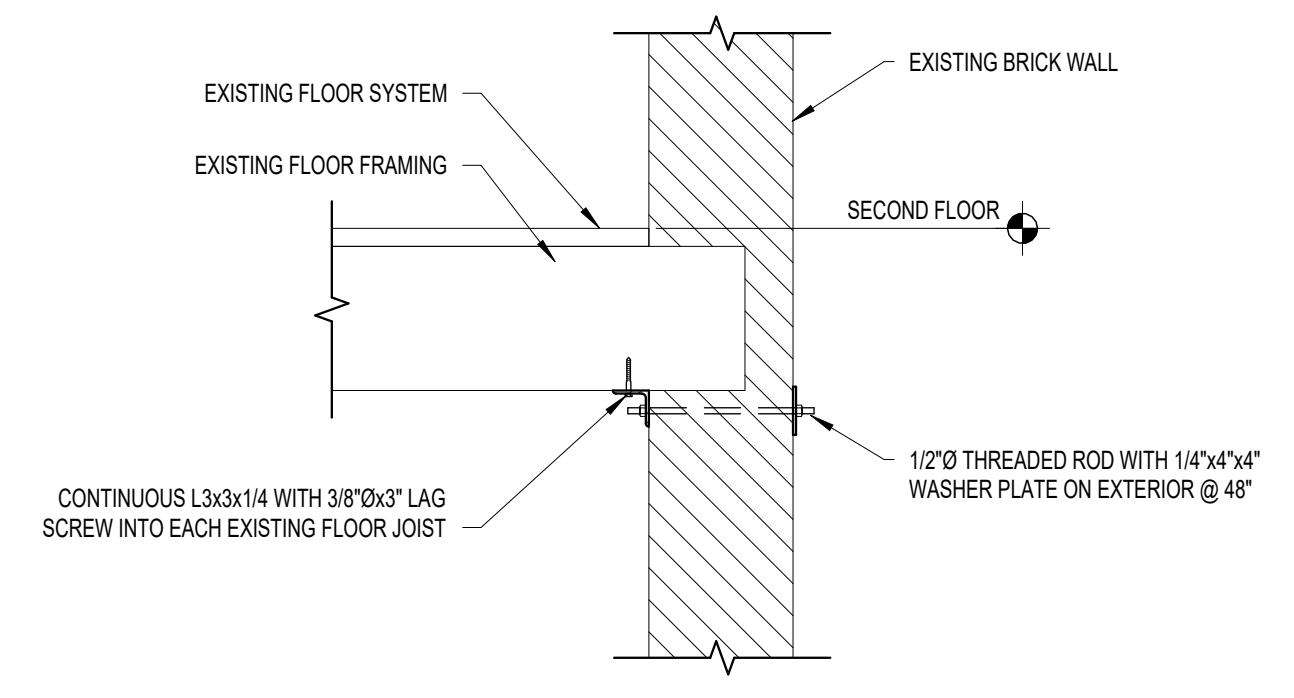
4 REPAIR DETAIL  
S2 SCALE: 1" = 1'-0"



3 REPAIR DETAIL  
S2 SCALE: 1/2" = 1'-0"



2 FLOOR AND ROOF WALL CONNECTION DETAIL  
S2 SCALE: 3/4" = 1'-0"



1 FLOOR TO WALL CONNECTION DETAIL  
S2 SCALE: 3/4" = 1'-0"

NOTE: CONDITIONS ARE ASSUMED, CONTRACTOR TO VERIFY IN FIELD, NOTIFY ENGINEER OF ANY DISCREPANCIES

| NO. | REVISION DESCRIPTION | BY | DATE |
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REPAIR DETAILS

PROJECT:

Structural Evaluation for  
Van Buren County Land Bank

5 Main Street - Hartford, Michigan 49057

SHEET TITLE:

MODELED BY:

DESIGNED BY:

PM REVIEW:

QA/QC REVIEW:

DATE: 2025.09.02

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abonmarche.com

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**Attachment 5 – Hazardous Materials Investigation by Envirologic (2021)**



**HAZARDOUS MATERIALS BUILDING SURVEY**

**MIXED-USE PROPERTY  
5 WEST MAIN STREET  
HARTFORD, MICHIGAN**

**JULY 8, 2021**

**Prepared for:**

**Van Buren County Land Bank Authority and  
Van Buren County Brownfield Redevelopment Authority  
219 East Paw Paw Street, Suite 101  
Paw Paw, Michigan 49079**

**Envirologic Technologies, Inc.**

Prepared by:

Aaron C. Bigler  
Project Scientist

**Envirologic Technologies, Inc.**

Reviewed by:

Erik D. Peterson  
Manager of Due Diligence Services

## TABLE OF CONTENTS

|   |          |
|---|----------|
| <b>INTRODUCTION .....</b>   | <b>1</b> |
| <b>BACKGROUND .....</b>   | <b>2</b> |
| <b>SCOPE OF WORK.....</b>   | <b>2</b> |
| <b>LIMITATIONS.....</b>   | <b>3</b> |
| <b>BUILDING CHARACTERISTICS.....</b>  | <b>3</b> |
| <b>ASBESTOS SURVEY METHODOLOGY .....</b>  | <b>3</b> |
| <b>HAZARDOUS MATERIAL SURVEY RESULTS .....</b>                                      | <b>6</b> |
| <b>RECOMMENDATIONS.....</b>   | <b>7</b> |
| REGULATORY INFORMATION REGARDING ASBESTOS REMOVAL, RENOVATION, AND DEMOLITION ..... | 7        |

## TABLES

|  |   |
|--|---|
| TABLE 1: <i>Asbestos-Containing Materials.....</i> | 5 |
|--|---|

## APPENDICES

|   |
|---|
| APPENDIX A: <i>Table 2: Functional Area, Sample Description, Analytical Sample ID Summary</i><br><i>Table 3: Hazardous Materials by Functional Area</i> |
| APPENDIX B: <i>Sampling Location Maps</i>   |
| APPENDIX C: <i>APEX Research, Inc., Analytical Report and Chain of Custody</i>  |
| APPENDIX D: <i>General Building Photographs</i>   |
| APPENDIX E: <i>Data Validation Report</i>   |
| APPENDIX F: <i>Notification of Intent to Renovate/Demolish</i>  |



**HAZARDOUS MATERIALS BUILDING SURVEY  
MIXED-USE PROPERTY  
5 WEST MAIN STREET  
HARTFORD, MICHIGAN**

**INTRODUCTION**

Pursuant to the request of the Van Buren County Brownfield Redevelopment Authority (VBCBRA), Envirologic has completed a Hazardous Materials Building Survey (inclusive of an asbestos survey and a hazardous materials survey) on behalf of the Van Buren County Land Bank Authority of an approximately 1,800-square-foot, two-story, mixed-use building located at 5 West Main Street, Hartford, Michigan. The survey was completed in support of redevelopment planning which may include renovation or demolition of the existing building. The survey served to identify the types, quantities, locations, and condition of asbestos-containing materials (ACMs) within the building.

The Michigan Occupational Safety and Health Administration (MIOSHA) Asbestos Standard for Construction (29 CFR 1926.1101) and Part 305, the MIOSHA Asbestos Standard for General Industry (29 CFR 1910.1001), require that all building facilities (excluding residential owner-occupied homes) constructed prior to 1981, where employees may enter, work, or contact building materials, must be inspected for ACMs. Also, all such buildings scheduled for renovation or demolition must have an asbestos building survey completed prior to the start of the renovation or demolition.

The survey/inspection must adhere to the Asbestos Hazard Emergency Response Act (AHERA) inspection protocol and be performed by a Michigan-accredited asbestos building inspector or Certified Industrial Hygienist (CIH). The building survey must also include the presence, location, and quantity of all “suspect” ACMs. Additionally, laboratory analysis information should be a part of the building survey document.

The Notification of Intent to Renovate/Demolish form required by the U.S. EPA NESHAP regulations must be prepared and submitted to the EGLE – Air Quality Division at least 10 working days prior to demolition of a building, regardless of whether or not ACMs are present in the building. If ACMs are present and included for removal and the quantity is greater than 260 linear feet and/or 160 square feet, a 10-working-day notice is also required.

In a memorandum from June 7, 2004, MIOSHA indicated all construction companies are required by law to provide annual two-hour asbestos awareness training for their employees who may contact, but do not disturb, ACMs. Because the potential exists for contractor personnel to encounter ACMs and suspect ACMs during renovation, Envirologic recommends contractor personnel working at the site receive a minimum of two hours of asbestos awareness training prior to conducting work activities at the site.

## **BACKGROUND**

The Van Buren County Land Bank Authority is conducting redevelopment planning activities on the subject property, which includes an evaluation of whether the existing building will be renovated or razed for new construction. In support of the redevelopment planning, the VBCBRA authorized Envirologic to conduct a hazardous materials building survey on behalf of the Van Buren County Land Bank Authority to determine the presence or absence of ACMs in association with the structure. An evaluation of the structure to identify any asbestos-containing building materials is needed to remove ACMs and/or comply with the National Emission Standards for Hazardous Air Pollutants (NESHAP) requirement for asbestos during the renovation/demolition activities. Envirologic assessed the structure on June 9, 2021. The asbestos inspection was completed by accredited Michigan Asbestos Inspectors Robert Webster (accreditation number A11251) and Aaron Bigler (accreditation number A45052).

General photographs of the structure are provided in Appendix D.

## **SCOPE OF WORK**

Envirologic inspected the subject property, including the interior and exterior portions of the structure, to identify suspect asbestos-containing building materials (SACMs). These materials were surveyed in a manner compliant with the sampling protocols of the Asbestos Hazard Emergency Response Act (AHERA). Suspect materials were sampled in accordance with AHERA protocols, and suspect materials were quantified. The survey was completed by Michigan-accredited asbestos building inspectors.

Envirologic also made note of potential hazardous materials in the building. The Hazardous Materials Survey was performed to identify materials that should be removed and disposed in conformance with the Resource Conservation and Recovery Act (RCRA) Subtitle (C) and Michigan's Part 111 and 115 of the Natural Resources and Environmental Protection Act (NREPA).

The objective of these programs is to ensure that waste is handled in a manner that protects human health and the environment. This Hazardous Materials Survey was conducted to identify the types, quantities, and conditions of the hazardous materials stored within the boundaries of the subject property.

It is understood that this survey will be used to support asbestos abatement and hazardous material disposal prior to renovation or demolition of the structure.

### **LIMITATIONS**

Inspection and sampling of SACMs located on the roof of the building (FA-2) were unable to be completed due to height restrictions. As a conservative measure, Envirologic has assumed that the roofing material of the building contains asbestos. Sampling of suspect materials identified on the roof may be completed in the future to identify the presence and quantity of asbestos present in these materials, if any exists.

Due to the nature of this survey and the current plans of the building, concrete was not sampled as part of this assessment. Sampling of concrete may be completed in the future to identify the presence and quantity of asbestos present in the concrete, if any exists.

### **BUILDING CHARACTERISTICS**

The approximately 1,800-square-foot, two-story, mixed-use building is built of wood and brick and is constructed over a basement. The basement walls are made of stone and concrete while the floor consists of a concrete slab and earthen areas. Interior finishes of the building include concrete, wood, paint, plaster, drywall, floor tile, linoleum, ceiling tile, carpet, metal, and glass. Non-suspect materials such as Styrofoam, fiberglass, or silicone were observed during the survey without sampling.

### **ASBESTOS SURVEY METHODOLOGY**

Field inspection alone is not conclusive to identify ACMs. Therefore, bulk samples of SACMs were obtained using U.S. EPA/OSHA protocols by State-accredited inspectors and analyzed to determine if asbestos fibers were present; if found, the types and percentages of asbestos were reported.



This survey was conducted in support of redevelopment planning/potential demolition of the structure and included destructive sampling. However, the potential exists that concealed or not readily observable potential ACMs may be encountered during renovation/demolition activities. Envirologic recommends that when SACMs not identified within this report are encountered for which no analytical data exists, the material(s) remain undisturbed until the asbestos content of the materials(s) is determined in accordance with U.S. EPA and OSHA regulations. Envirologic's quantities are intended to be "Order of Magnitude" estimates, and the estimated quantities and other information in this report should not be used as an exclusive source of information for bid formulation or for notification to regulatory agencies.

Bulk samples of SACMs were obtained using U.S. EPA/OSHA protocols by a State of Michigan accredited inspector. An area the approximate size of a half-dollar was thoroughly wetted with water and a wetting agent applied from a handheld spray bottle to reduce fiber release during sample collection. A knife or boring tool was used to cut the outer protective covering to expose the SACM underneath. The knife or boring tool was then employed to remove a small amount of the material for the sample. The sample was then placed in a re-sealable plastic bag, labeled, and secured. Envirologic followed U.S. EPA and OSHA protocols for determining sampling locations and total number of samples taken.

Laboratory descriptions of materials analyzed by Polarized Light Microscopy (PLM) method for asbestos content were based upon the microscopist's perceptions of bulk samples that were pulverized and prepared with dispersion oils for PLM analysis. Due to the preparation of the sampled materials and the minute level of observation by the laboratory personnel, the descriptions on the Certificates of Analysis may not match the sample descriptions recorded by Envirologic in the field. Envirologic's sample descriptions and locations should be used to identify materials that were sampled, and Envirologic's sample numbers should be used to correlate analytical results for the sampled materials.

The samples were submitted to APEX Research, Inc. (APEX) of Whitmore Lake, Michigan, using standard chain-of-custody procedures. APEX holds a National Voluntary Laboratory Accreditation Program (NVLAP) certificate for Bulk Asbestos Fiber Analysis (NVLAP Accreditation # 102118-0). The samples were analyzed in accordance with the U.S. EPA and OSHA protocol for asbestos using PLM/dispersion staining to determine if asbestos fibers were present. If asbestos fibers were found, the type(s) and percentage(s) of asbestos were reported.

For the purposes of this survey, the following separate functional areas (FAs) were identified in association with the structure:

- FA-1: Exterior
- FA-2: Roof
- FA-3: 1st Floor
- FA-4: Basement
- FA-5: 2nd Floor – North Half
- FA-6: 2nd Floor – South Half

A total of 71 bulk samples were collected from interior and exterior portions of the structure, with 100 sample layers analyzed. A summary of the descriptions of observed materials within each functional area, observed quantities, and sample identification number for sampled SACMs are presented as Table 2 in Appendix A. The laboratory analytical report and chain of custody are presented in Appendix C.

A summary of the materials identified as containing asbestos is presented in Table 1 below.

**TABLE 1: ASBESTOS-CONTAINING MATERIALS**

| Description of Asbestos-Containing Material                        | Total Quantity<br>sq./ln. ft. |
|--|-------------------------------|
| HA-04: 2nd Floor Flashing Tar – Sample ID #04-01                   | 8 sq. ft.                     |
| HA-06: Building Joint Caulk – Sample ID #06-01                     | 2 sq. ft.                     |
| HA-07: Multi-Layer Salon Flooring – Sample ID #07-01               | 459 sq. ft.                   |
| HA-13: Yellow Linoleum – Sample ID #13-01                          | 16 sq. ft.                    |
| HA-21: Yellow Decorative Stone Pattern Linoleum – Sample ID #21-01 | 30 sq. ft.                    |
| HA-24: Fiberboard – Sample ID #24-01                               | 2 sq. ft.                     |
| HA-25: Aircell Pipe Insulation – Sample ID #25-01                  | 1 ln. ft.                     |
| HA-26: Penetration Flue Insulation – Sample ID #26-01              | 1 sq. ft.                     |
| HA-39: White Sink Undercoat – Sample ID #39-01                     | 4 sq. ft.                     |
| HA-41: 9" x 9" Dark Brown Floor Tile – Sample ID #41-01            | 248 sq. ft.                   |
| HA-43: Black Sink Undercoat – Sample ID #43-01                     | 4 sq. ft.                     |
| HA-46: Layered Flooring – Sample ID #46-01                         | 30 sq. ft.                    |
| HA-48: Roofing Material (ASSUMED ACM POSITIVE)                     | 2,000 sq. ft.                 |

Photographs of the materials identified as containing asbestos are presented in Appendix D. Observed locations of ACM can be found in Table 2 (Appendix A) and are further described below.

The 2nd floor flashing tar (HA-04) is located along the metal flashing and brick exterior wall on the south side of the building. The building joint caulk (HA-06) is located on the southern wall of the building separating exterior brick from 1 and 5 West Main Street. The multi-layer salon flooring (HA-07) is located underneath the blue carpet in the 1st floor salon area. The yellow linoleum (HA-13) is located underneath the laminate flooring in the 1st floor bathroom. The yellow decorative stone pattern linoleum (HA-21) is located in the northeastern room of the 1st floor. The fiberboard (HA-24), aircell pipe insulation (HA-25), and penetration flue insulation (HA-26) are all located in the basement in small quantities. These materials were observed stapled to wooden joists, on piping, and on a penetration flue on the western wall, respectively. Remnants of these materials were also observed on the basement floor.

The white sink undercoat (HA-39) and black sink undercoat (HA-43) are located on the 2nd floor underneath the sinks in the north kitchen and southeast kitchen, respectively. The 9" x 9" dark brown floor tile (HA-41) is located on the 2nd floor in both southeast and southwest kitchens and bathrooms. The mastic underneath this floor tile does not contain asbestos. The layered flooring (HA-46) is located on the 2nd floor in the southwest apartment bathroom and closet. Roofing material (HA-48) is located on the roof of the building and was assumed to be asbestos containing.

The potential exists that additional SACMs may be encountered during renovation/demolition activities. Should SACMs be encountered, Envirologic recommends that the suspect materials not be disturbed until the asbestos content is determined. Conversely, SACMs can be presumed to be asbestos containing and handled accordingly.

### **HAZARDOUS MATERIAL SURVEY RESULTS**

Robert Webster of Envirologic conducted the Hazardous Materials Survey using the same functional areas to survey the building for stored hazardous materials and universal wastes (e.g., fluorescent lamps, mercury switches, etc.). The hazardous materials observed at the subject property were limited to the interior of the building and the exterior portions of the subject property. These materials were limited to tires, an air conditioning window unit, containers of paint, fluorescent bulbs and ballasts, smoke detectors, refrigerators, and fire extinguishers. A full list of the materials summarized by functional area is included in Table 3 in Appendix A.

Envirologic recommends that these materials be removed from the subject property and properly disposed/recycled in support of redevelopment.

### **RECOMMENDATIONS**

As detailed in Table 1, multiple types of ACMs were identified in association with the structure. Identified non-friable ACMs include the flashing tar, building joint caulk, white and black sink undercoats, multi-layer salon flooring, yellow linoleum, yellow decorative stone pattern linoleum, 9" x 9" dark brown floor tile, layered flooring, and roofing material. Identified friable ACMs include the fiberboard, aircell pipe insulation, and penetration flue insulation.

Envirologic recommends removal of asbestos-containing building materials by a licensed asbestos contractor in accordance with the OSHA asbestos standard prior to renovation or demolition. When applicable, personal and clearance air samples should be collected to demonstrate that asbestos fibers are not released through the abatement process.

Should SACMs not detailed in this report be encountered in the future, Envirologic recommends that the suspect materials not be disturbed until the asbestos content is determined. Conversely, SACMs can be presumed to be asbestos containing and handled accordingly.

The hazardous materials identified during the survey could be reused, if and where possible. Otherwise, they should be properly recycled or disposed according to applicable local, state, and federal regulations.

#### **Regulatory Information Regarding Asbestos Removal, Renovation, and Demolition**

According to 40CFR Part 61, ACMs that could be expected to be disturbed and become friable must be removed prior to renovation/demolition activities, which could be expected to disturb the ACMs. Depending upon the amount of ACM that must be removed prior to renovation, a 10-working- or 10-calendar-day notification to the appropriate regulatory agencies, EGLE-AQD, and MDLARA may be required before abatement work could begin. A licensed asbestos removal contractor, utilizing workers accredited under the requirements of Michigan Act 440, must perform asbestos removal work. Envirologic recommends asbestos abatement project design by a Project Designer accredited under the requirements of Michigan Act 440 and monitoring asbestos removal work with air sampling, visual verification, and clearance air monitoring performed by an independent third party. All ACM waste generated should be placed in doubled, labeled waste

bags, affixed with a waste generator location label, and disposed in a Type II landfill. All ACM waste removed from the site should be inventoried on a Waste Shipment Record that complies with NESHAP regulations, 40 CFR Part 61.

The Notification of Intent to Renovate/Demolish form required by the U.S. EPA NESHAP regulations must be prepared and submitted to EGLE-AQD at least 10 working days prior to demolition of a building, regardless of whether or not ACMs are present in the building.

Once an asbestos building survey has confirmed or assumed the presence of ACMs, all employees who work around and may contact, but not disturb, ACMs (i.e., persons conducting janitorial, building maintenance, and/or housekeeping activities) must receive, at minimum, two-hour asbestos awareness training. Additionally, employees who may disturb ACMs (i.e., persons working with any of the mechanical systems that have ACMs) must have additional asbestos-related training that satisfies the class of work activity that they are involved with (i.e., Class I, II, or III).

Before allowing a contractor to work on their building, building owners should also ascertain if the contractor has acquired asbestos awareness training. Such training is required when the contractor works in the proximity of ACMs and may contact, but not disturb, the material.

Building owners removing ACMs from their own structure are not required to be a Michigan-licensed asbestos abatement contractor. However, the building owner's employees performing the work must comply with the requirements of Part 602, the MIOSHA Asbestos Standards for Construction (29 CFR 1926.1101). The Asbestos Abatement Contractors Licensing Act (i.e., Act 135, P.A. 1986, as amended) requires asbestos abatement contractors and exempt trade groups to notify the MDLARA Asbestos Program of any asbestos abatement project exceeding 10 linear feet and/or 15 square feet of friable asbestos materials. This requires a 10-calendar-day notice.



**APPENDIX A**

**TABLE 2: FUNCTIONAL AREA, SAMPLE DESCRIPTION, AND ASBESTOS ANALYTICAL SAMPLE ID SUMMARY**

**TABLE 3: HAZARDOUS MATERIALS BY FUNCTIONAL AREA**



Table 2 - Asbestos Survey  
5 West Main Street, Hartford, MI

| Floor | Space Code (FA) | Space Name | Description of Material                  | Quantity in Space | Sample Number | Sample Result   | Response   | Notes  |
|-------|-----------------|------------|--|-------------------|---------------|---|--|--|
| 1/2   | 1               | Exterior   | HA-01: Exterior Plaster                  | 1,550 SF          | 01-01         | None Detected   | None   | On east side of building   |
|       |                 |            | HA-02: 2nd Floor Doorway Caulk           | 3 SF              | 02-01         | None Detected   | None   | On three doors on east side of building                                |
|       |                 |            | HA-03: Exterior Window Glazing           | 17 SF             | 03-01         | None Detected   | None   | On 17 Brick Wall Windows (2' x 4')                                     |
|       |                 |            | <b>HA-04: 2nd Floor Flashing Tar</b>     | <b>8 SF</b>       | <b>04-01</b>  | <b>15% Chrysotile</b>   | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>Along metal flashing joint with brick between 1st and 2nd floor</b> |
|       |                 |            | HA-05: Exterior Brick Skim Coat          | 40 SF             | 05-01         | None Detected   | None   | On SE corner of building   |
|       |                 |            | <b>HA-06: Building Joint Caulk</b>       | <b>2 SF</b>       | <b>06-01</b>  | <b>2% Chrysotile</b>  | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>On south wall between 1 and 5 West Main Street buildings</b>        |
| 3     | 2               | Roof       | <b>HA-48: Roofing Material</b>           | <b>2,000 SF</b>   | --            | <b>Assumed ACM</b>  | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>Roof of building</b>  |
| 1     | 3               | 1st Floor  | <b>HA-07: Multi-Layer Salon Flooring</b> | <b>459 SF</b>     | <b>07-01</b>  | <b>L1 - 15% Chrysotile<br/>L2 - 10% Chrysotile<br/>L3 - None Detected</b> | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>Under blue carpet</b>   |
|       |                 |            | HA-08: Beige 12" x 12" Pattern Linoleum  | 267 SF            | 08-01         | None Detected   | None   | In Salon area  |

MM=miscellaneous material  
TSI=thermal systems insulation  
SM=surfacing material  
NE=not estimated

FT=floor tile  
CT=ceiling tile  
DCT=drop-in ceiling tile  
**Bold HAs are positive**

L1=layer 1  
L2=layer 2  
L3=layer 3  
L4=layer 4

Table 2 - Asbestos Survey  
5 West Main Street, Hartford, MI

| Floor | Space Code (FA) | Space Name | Description of Material                         | Quantity in Space | Sample Number           | Sample Result         | Response   | Notes   |
|-------|-----------------|------------|---|-------------------|-------------------------|-----------------------|--|---|
|       |                 |            | HA-09: 1' x 1' Ceiling Tile                     | 780 SF            | 09-01                   | None Detected         | None   | Above Drop Ceiling Tile in Salon area                           |
|       |                 |            | HA-10: 2' x 4' Uneven Pattern Drop Ceiling Tile | 260 SF            | 10-01                   | None Detected         | None   | In Salon area   |
|       |                 |            | HA-11: 2' x 4' Dot Wormy Drop Ceiling Tile      | 260 SF            | 11-01                   | None Detected         | None   | In Salon area   |
|       |                 |            | HA-12: 2' x 4' Dot Dent Drop Ceiling Tile       | 260 SF            | 12-01                   | None Detected         | None   | In Salon area   |
|       |                 |            | <b>HA-13: Yellow Linoleum</b>                   | <b>16 SF</b>      | <b>13-01</b>            | <b>15% Chrysotile</b> | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>Under bathroom laminate flooring</b>                         |
|       |                 |            | HA-14: 4" Green Base Trim with Adhesive         | 37 SF             | 14-01                   | None Detected         | None   | North half of first floor                                       |
|       |                 |            | HA-15: Splash Guard Adhesive                    | 10 SF             | 15-01                   | None Detected         | None   | Behind sink in central section of first floor                   |
|       |                 |            | HA-16: Popcorn Ceiling Material                 | 329 SF            | 16-01<br>16-02<br>16-03 | None Detected         | None   | In north hallway  |
|       |                 |            | HA-17: Drywall                                  | 2,200 SF          | 17-01<br>17-02<br>17-03 | None Detected         | None   | Throughout northern half of first floor; bulkhead in Salon area |
|       |                 |            | HA-18: Joint Compound                           | 500 SF            | 18-01<br>18-02<br>18-03 | None Detected         | None   | Throughout northern half of first floor; bulkhead in Salon area |
|       |                 |            | HA-19: 12" x 12" Tan Floor Tile with Mastic     | 55 SF             | 19-01                   | None Detected         | None   | At staircase to basement  |
|       |                 |            | HA-20: Stone Pattern Linoleum                   | 30 SF             | 20-01                   | None Detected         | None   | In NE room  |

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NE=not estimated

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CT=ceiling tile

DCT=drop-in ceiling tile

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L1=layer 1

L2=layer 2

L3=layer 3

L4=layer 4

Table 2 - Asbestos Survey  
5 West Main Street, Hartford, MI

| Floor | Space Code (FA) | Space Name             | Description of Material                                | Quantity in Space | Sample Number                    | Sample Result                                    | Response   | Notes   |
|-------|-----------------|------------------------|--|-------------------|----------------------------------|--|--|---|
|       |                 |                        | <b>HA-21: Yellow Decorative Stone Pattern Linoleum</b> | <b>30 SF</b>      | <b>21-01</b>                     | <b>L1 - 20% Chrysotile</b><br>L2 - None Detected | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>In NE room</b>   |
|       |                 |                        | HA-22: Plaster   | 3,100 SF          | 22-01<br>22-02<br>22-03<br>22-04 | None Detected                                    | None   | Along exterior walls of first floor                             |
|       |                 |                        | HA-23: Asphalt Flooring                                | 30 SF             | 23-01                            | None Detected                                    | None   | In attic  |
| B     | 4               | Basement               | <b>HA-24: Fiberboard</b>                               | <b>2 SF</b>       | <b>24-01</b>                     | <b>60% Chrysotile</b>                            | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>Observed stapled to joists near furnace; on stairs</b>       |
|       |                 |                        | <b>HA-25: Aircell Pipe Insulation</b>                  | <b>1 LF</b>       | <b>25-01</b>                     | <b>60% Chrysotile</b>                            | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>Observed on one section of pipe along west exterior wall</b> |
|       |                 |                        | <b>HA-26: Penetration Flue Insulation</b>              | <b>1 SF</b>       | <b>26-01</b>                     | <b>70% Chrysotile</b>                            | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>Remnant on west wall</b>                                     |
| 2     | 5               | 2nd Floor - North Half | HA-17: Drywall   | 300 SF            | 17-04<br>17-05                   | None Detected                                    | None   | Throughout area   |
|       |                 |                        | HA-18: Joint Compound                                  | 50 SF             | 18-04<br>18-05                   | None Detected                                    | None   | Throughout area   |

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NE=not estimated

FT=floor tile  
CT=ceiling tile  
DCT=drop-in ceiling tile  
**Bold HAs are positive**

L1=layer 1  
L2=layer 2  
L3=layer 3  
L4=layer 4

Table 2 - Asbestos Survey  
5 West Main Street, Hartford, MI

| Floor | Space Code (FA) | Space Name             | Description of Material                                 | Quantity in Space | Sample Number           | Sample Result | Response | Notes   |
|-------|-----------------|------------------------|---|-------------------|-------------------------|---------------|----------|---|
|       |                 |                        | HA-22: Plaster  | 2,500 SF          | 22-05<br>22-06<br>22-07 | None Detected | None     | Throughout area                                     |
|       |                 |                        | HA-27: 12" x 12" Brown and Black Floor Tile with Mastic | 72 SF             | 27-01                   | None Detected | None     | In kitchen under laminate                           |
|       |                 |                        | HA-28: 2' x 2' Dot Dent Drop Ceiling Tile               | 672 SF            | 28-01                   | None Detected | None     | Throughout area                                     |
|       |                 |                        | HA-29: Textured Paint                                   | 950 SF            | 29-01<br>29-02<br>29-03 | None Detected | None     | Throughout area                                     |
|       |                 |                        | HA-30: Attic Insulation                                 | 2,000 SF          | 30-01                   | None Detected | None     | In skylight room, accessible from damage in ceiling |
|       |                 |                        | HA-31: White Linoleum                                   | 10 SF             | 31-01                   | None Detected | None     | In closet of NE room                                |
|       |                 |                        | HA-32: Wood Pattern Linoleum                            | 25 SF             | 32-01                   | None Detected | None     | In bathroom   |
|       |                 |                        | HA-33: Linoleum Remnant                                 | 130 SF            | 33-01                   | None Detected | None     | Under carpet in middle-west room                    |
|       |                 |                        | HA-34: 12" x 12" Tan Floor Tile with Layers             | 250 SF            | 34-01                   | None Detected | None     | In hallway and skylight room                        |
| 2     | 6               | 2nd Floor - South Half | HA-11: 2' x 4' Dot Wormy Drop Ceiling Tile              | 100 SF            | --                      | None Detected | None     | In SE kitchen                                       |
|       |                 |                        | HA-17: Drywall  | 900 SF            | 17-06<br>17-07          | None Detected | None     | Throughout area                                     |
|       |                 |                        | HA-18: Joint Compound                                   | 150 SF            | 18-06<br>18-07          | None Detected | None     | Throughout area                                     |
|       |                 |                        | HA-22: Plaster  | 2,600 SF          | --                      | None Detected | None     | Throughout area                                     |
|       |                 |                        | HA-28: 2' x 2' Dot Dent Drop Ceiling Tile               | 300 SF            | --                      | None Detected | None     | Throughout area                                     |

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TSI=thermal systems insulation  
SM=surfacing material  
NE=not estimated

FT=floor tile  
CT=ceiling tile  
DCT=drop-in ceiling tile  
**Bold HAs are positive**

L1=layer 1  
L2=layer 2  
L3=layer 3  
L4=layer 4

Table 2 - Asbestos Survey  
5 West Main Street, Hartford, MI

| Floor | Space Code (FA) | Space Name | Description of Material                                 | Quantity in Space | Sample Number  | Sample Result  | Response   | Notes  |
|-------|-----------------|------------|---|-------------------|----------------|--|--|--|
|       |                 |            | HA-29: Textured Paint                                   | 600 SF            | 29-04<br>29-05 | None Detected  | None   | In NW bedroom and bathroom                                 |
|       |                 |            | HA-35: 2' x 2' Plain Drop Ceiling Tile                  | 396 SF            | 35-01          | None Detected  | None   | In SW apartment NW bedroom                                 |
|       |                 |            | HA-36: Stove Back Adhesive                              | 150 SF            | 36-01          | None Detected  | None   | In all three kitchens                                      |
|       |                 |            | HA-37: 2nd Floor Splash Guard Adhesive                  | 40 SF             | 37-01          | None Detected  | None   | In all three kitchens                                      |
|       |                 |            | HA-38: Linoleum under North Kitchen Flooring            | 168 SF            | 38-01          | None Detected  | None   | Under floor in north kitchen                               |
|       |                 |            | <b>HA-39: White Sink Undercoat</b>                      | <b>4 SF</b>       | <b>39-01</b>   | <b>10% Chrysotile</b>  | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>In north kitchen</b>                                    |
|       |                 |            | HA-40: 9" x 9" Stone Pattern Floor Tile                 | 130 SF            | 40-01          | None Detected  | None   | In room off north kitchen                                  |
|       |                 |            | <b>HA-41: 9" x 9" Dark Brown Floor Tile with Mastic</b> | <b>248 SF</b>     | <b>41-01</b>   | L1 - None Detected<br><b>L2 - 10% Chrysotile</b><br>L3 - None Detected<br>L4 - None Detected | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>In SE kitchen and bathroom; SW kitchen and bathroom</b> |
|       |                 |            | HA-42: Ceramic Tile Adhesive                            | 80 SF             | 42-01          | None Detected  | None   | In SE bathroom   |
|       |                 |            | <b>HA-43: Black Sink Undercoat</b>                      | <b>4 SF</b>       | <b>43-01</b>   | <b>5% Chrysotile</b>   | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>In SE kitchen</b>                                       |

MM=miscellaneous material  
TSI=thermal systems insulation  
SM=surfacing material  
NE=not estimated

FT=floor tile  
CT=ceiling tile  
DCT=drop-in ceiling tile  
**Bold HAs are positive**

L1=layer 1  
L2=layer 2  
L3=layer 3  
L4=layer 4

Table 2 - Asbestos Survey  
5 West Main Street, Hartford, MI

| Floor | Space Code (FA) | Space Name | Description of Material                  | Quantity in Space | Sample Number | Sample Result  | Response   | Notes   |
|-------|-----------------|------------|--|-------------------|---------------|--|--|---|
|       |                 |            | HA-44: Light Stone Pattern Linoleum      | 100 SF            | 44-01         | None Detected  | None   | Under wood flooring in SW kitchen                   |
|       |                 |            | HA-45: Tan Paper under Carpet            | 144 SF            | 45-01         | None Detected  | None   | Under carpet in SW living room                      |
|       |                 |            | <b>HA-46: Layered Flooring</b>           | <b>30 SF</b>      | <b>46-01</b>  | <b>L1 - 15% Chrysotile</b><br><b>L2 - 10% Chrysotile</b><br>L3 - None Detected<br>L4 - None Detected | <b>Maintain good condition or remove/replace prior to renovation or demolition</b> | <b>In SW bathroom and closet off SW living room</b> |
|       |                 |            | HA-47: Ceramic Style Fiberboard Adhesive | 100 SF            | 47-01         | None Detected  | None   | In SW bathroom                                      |

MM=miscellaneous material  
TSI=thermal systems insulation  
SM=surfacing material  
NE=not estimated

FT=floor tile  
CT=ceiling tile  
DCT=drop-in ceiling tile  
**Bold HAs are positive**

L1=layer 1  
L2=layer 2  
L3=layer 3  
L4=layer 4

**Table 3 - Hazardous Materials by Functional Area**

**FA-1 Exterior**

| Amount | Item Description                                |
|--------|---|
| 1      | Tire (under wood steps)                         |
| 1      | Air conditioning window unit (south end)        |
| 1      | Compact fluorescent light bulb (north stairway) |

**FA-2 Roof**

| Amount  | Item Description |
|---|------------------|
| No Hazardous Materials of Note – Unable to access |                  |

**FA-3 1st Floor**

| Amount | Item Description   |
|--------|--|
| 31     | Fluorescent light bulbs  |
| 10     | Fluorescent light ballasts                                     |
| 25     | Compact fluorescent light bulbs (north hall, side room, salon) |
| 4      | 1-gallon to 1-quart containers of paint (various quantities)   |
| 2      | Smoke detectors  |

**FA-4 Basement**

| Amount | Item Description |
|--------|------------------|
| 1      | Smoke detector   |

**FA-5 2nd Floor – North Half**

| Amount | Item Description                |
|--------|---------------------------------|
| 8      | Fluorescent light bulbs         |
| 4      | Fluorescent light ballasts      |
| 1      | Refrigerator                    |
| 1      | Fire extinguisher               |
| 2      | Smoke detectors                 |
| 3      | Compact fluorescent light bulbs |

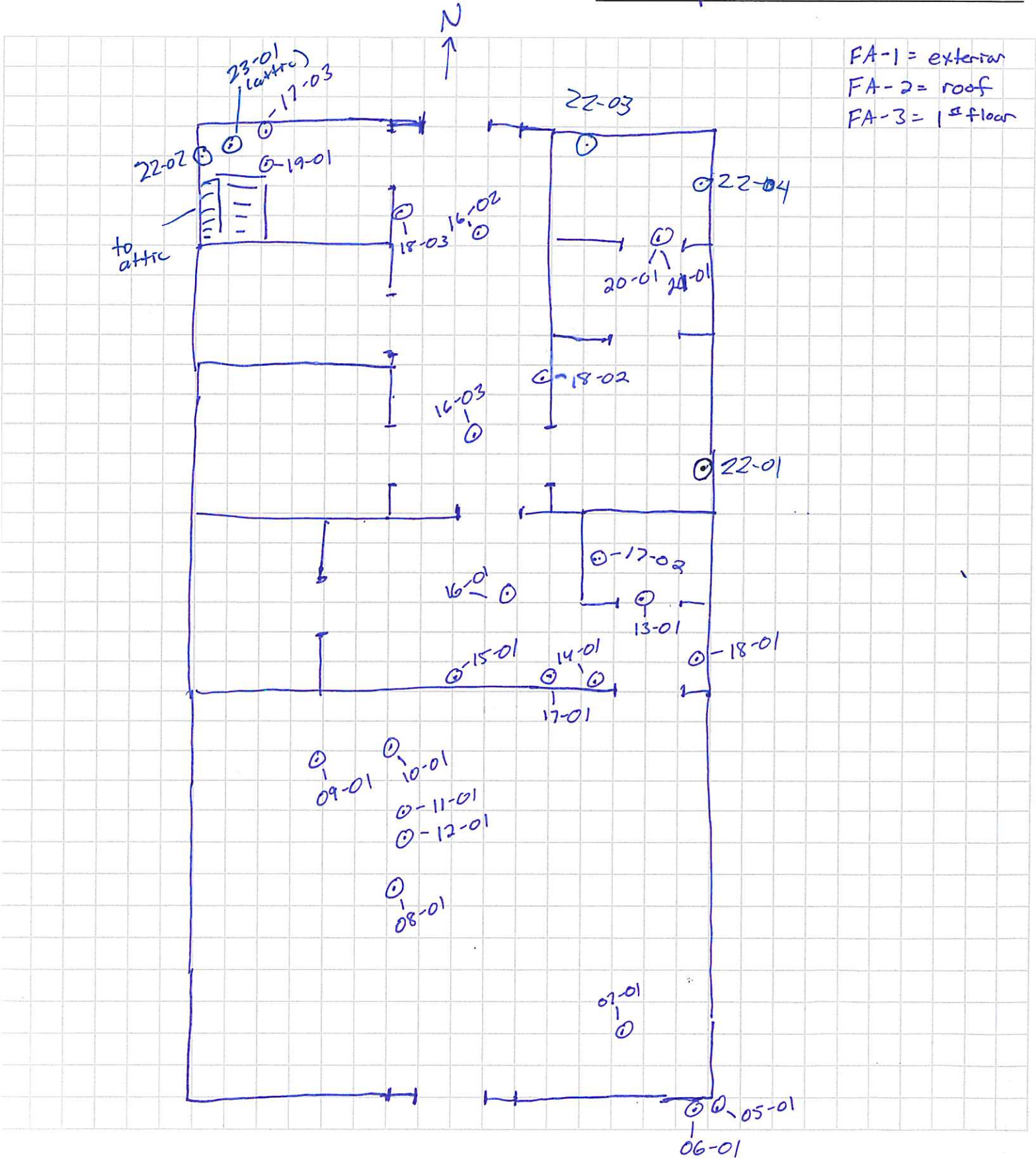
**FA-6 2nd Floor – South Half**

| Amount | Item Description               |
|--------|--------------------------------|
| 12     | Fluorescent light bulbs        |
| 6      | Fluorescent light ballasts     |
| 3      | Refrigerators                  |
| 3      | Fire extinguishers             |
| 3      | Smoke detectors                |
| 1      | Compact fluorescent light bulb |



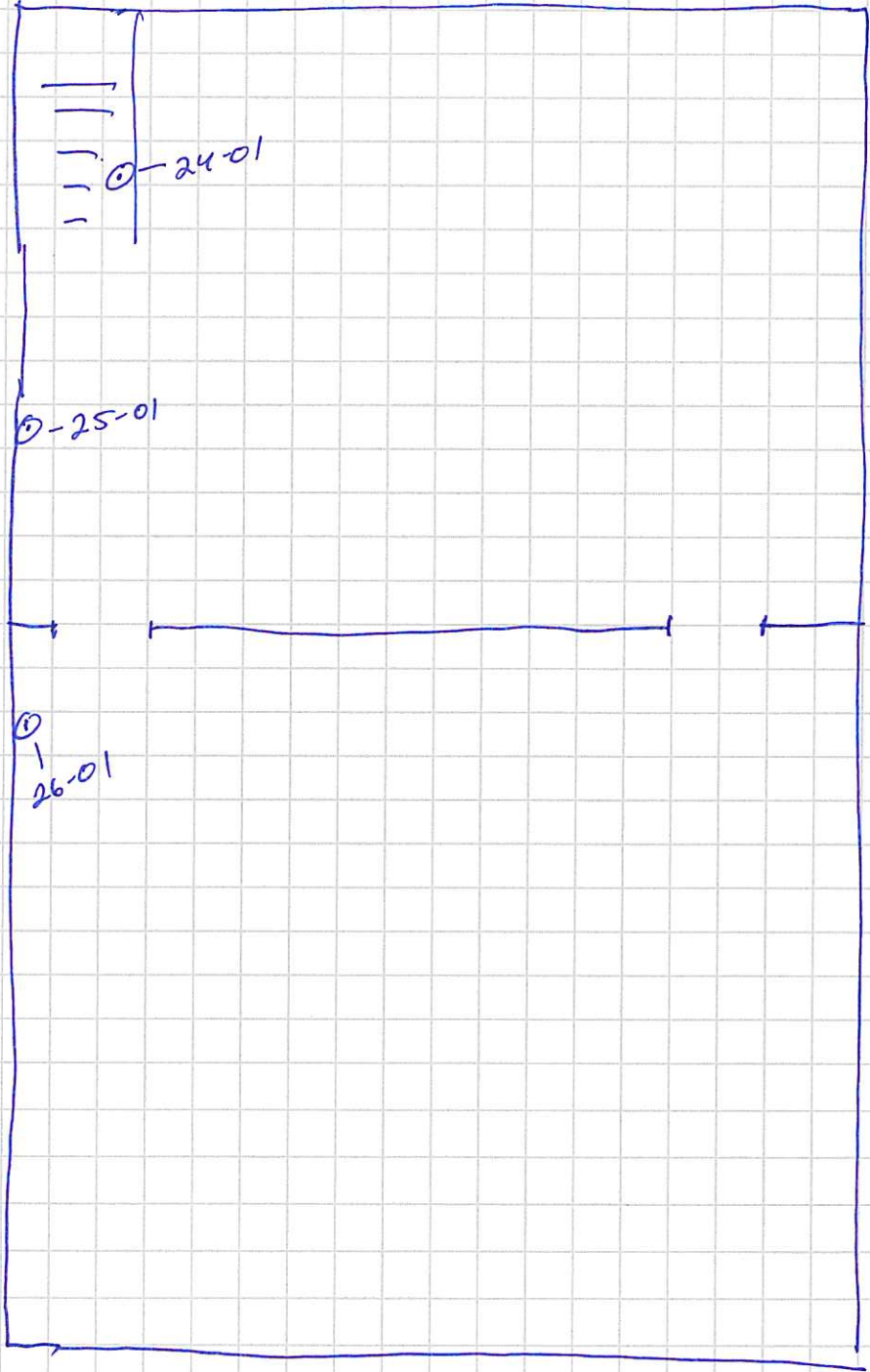
**APPENDIX B**  
**SAMPLING LOCATION MAPS**

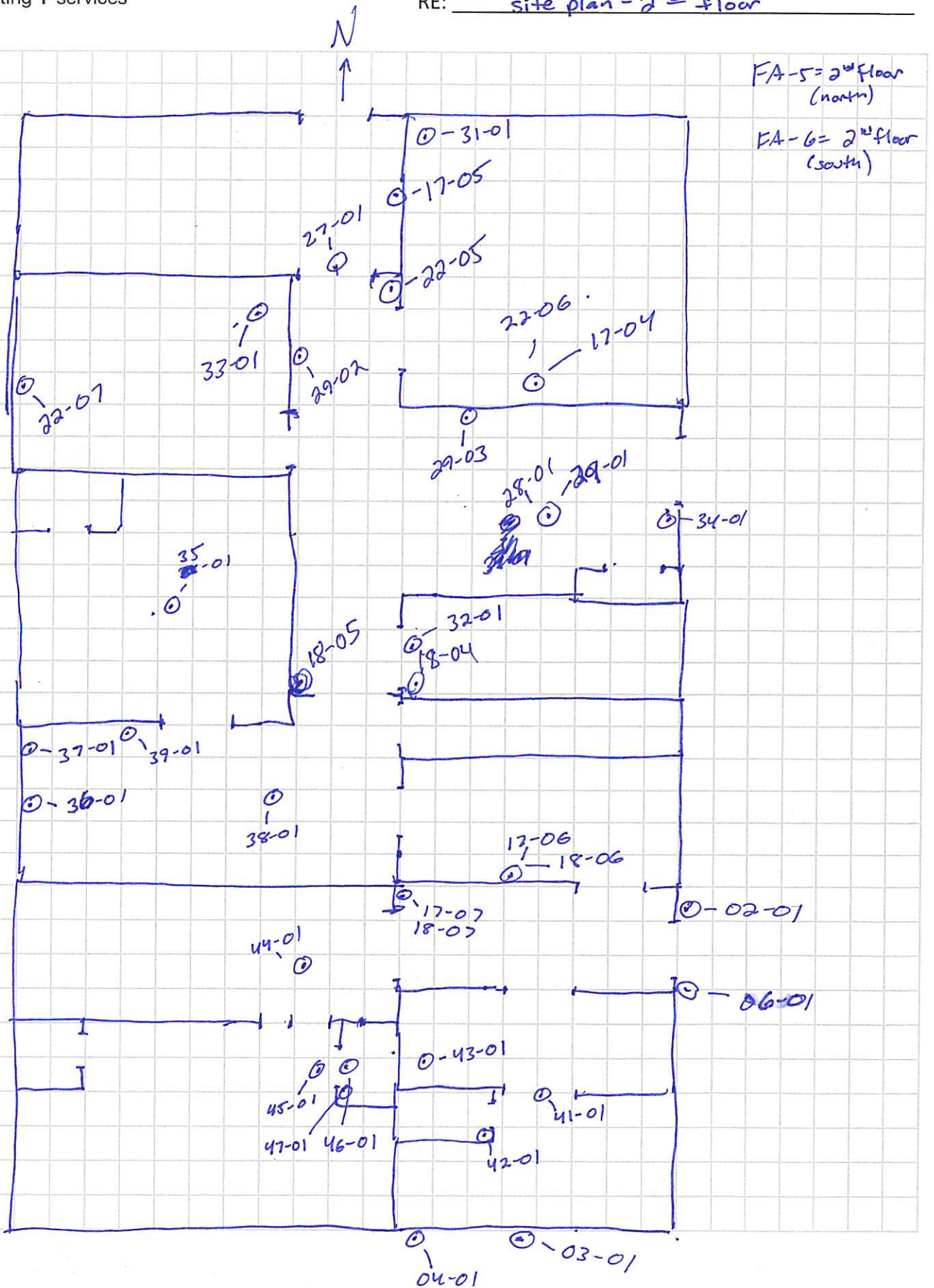






FA-4 = basement





**APPENDIX C**

**APEX RESEARCH, INC., LABORATORY ANALYTICAL REPORT AND CHAIN OF CUSTODY**



# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # :VBCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material         |
|--|---|-------------------------------|
| Lab ID #: 94688 - 01<br>Cust. #: 01-01<br>Material: Exterior Plaster<br>Location:<br>Appearance: brown, fibrous, homogenous<br>Layer: 1 of 1           | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 5%<br>Other - 95%      |
| Lab ID #: 94688 - 02<br>Cust. #: 02-01<br>Material: Doorway Caulk<br>Location: 2nd Floor<br>Appearance: brown, nonfibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                  |
| Lab ID #: 94688 - 03<br>Cust. #: 03-01<br>Material: Exterior Window Glazing<br>Location:<br>Appearance: beige, nonfibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99% |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

Test Method EPA 40 CFR - Part 763 and/or EPA 600/R-93/116 was used to analyze the above samples. Matrix interference and/or resolution limits may yield false/negative results in certain circumstances. Suspect floor tiles containing <1% should be tested with SEM or TEM. This certificate of analysis relates only to the samples as submitted and to insure the integrity of the results, may only be reproduced in full. This certificate must not be used by the customer to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government. APEX Research Inc. is not responsible for the accuracy of the results for layered samples or samples comprising multiple materials. Liability limited to cost of analysis.



# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



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2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material             |
|---|---|-----------------------------------|
| Lab ID #: 94688 - 04<br>Cust. #: 04-01<br>Material: Flashing Tar<br>Location: 2nd Floor<br>Appearance: black, fibrous, homogenous<br>Layer: 1 of 1      | Asbestos Present: <b>YES</b><br>Chrysotile - 15%    | Other - 85%                       |
| Lab ID #: 94688 - 05<br>Cust. #: 05-01<br>Material: Exterior Brick Skim Coat<br>Location:<br>Appearance: white, nonfibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                      |
| Lab ID #: 94688 - 06<br>Cust. #: 06-01<br>Material: Building Joint Caulk<br>Location:<br>Appearance: beige, fibrous, homogenous<br>Layer: 1 of 1        | Asbestos Present: <b>YES</b><br>Chrysotile - 2%     | Wollastonite - 10%<br>Other - 88% |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



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Project # : VCBRA/210068

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Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material         |
|---|---|-------------------------------|
| Lab ID #: 94688 - 07<br>Cust. #: 07-01<br>Material: Multi-Layer Flooring/Linoleum/Glue<br>Location: Salon<br>Appearance: brown, fibrous, nonhomogenous<br>Layer: 1 of 3 | Asbestos Present: <b>YES</b><br>Chrysotile - 15%    | Other - 85%                   |
| Lab ID #: 94688 - 07a<br>Cust. #: 07-01<br>Material: Floor Tile<br>Location: Salon<br>Appearance: brown, fibrous, homogenous<br>Layer: 2 of 3                           | Asbestos Present: <b>YES</b><br>Chrysotile - 10%    | Other - 90%                   |
| Lab ID #: 94688 - 07b<br>Cust. #: 07-01<br>Material: Mastic<br>Location: Salon<br>Appearance: black, nonfibrous, homogenous<br>Layer: 3 of 3                            | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99% |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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## Test Method, Polarized Light Microscopy (PLM)



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Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material                              |
|---|---|--|
| Lab ID #: 94688 - 08<br>Cust. #: 08-01<br>Material: Beige 12"x12" Pattern Linoleum<br>Location:<br>Appearance: beige, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 10%<br>Fiberglass - 10%<br>Other - 80% |
| Lab ID #: 94688 - 09<br>Cust. #: 09-01<br>Material: 1'x1' Ceiling Tile<br>Location:<br>Appearance: brown, fibrous, homogenous<br>Layer: 1 of 1                | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 90%<br>Other - 10%                     |
| Lab ID #: 94688 - 10<br>Cust. #: 10-01<br>Material: 2'x4' Uneven Patter Drop CT<br>Location:<br>Appearance: brown, fibrous, homogenous<br>Layer: 1 of 1       | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 70%<br>Perlite - 10%<br>Other - 20%    |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # :VBCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material                                |
|---|---|--|
| Lab ID #: 94688 - 11<br>Cust. #: 11-01<br>Material: 2'x4' Dot Wormy Drop CT<br>Location:<br>Appearance: beige, fibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 40%<br>Mineral Wool - 30%<br>Other - 30% |
| Lab ID #: 94688 - 12<br>Cust. #: 12-01<br>Material: 2'x4' Dot Dent Drop CT<br>Location:<br>Appearance: beige, fibrous, homogenous<br>Layer: 1 of 1  | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 40%<br>Mineral Wool - 30%<br>Other - 30% |
| Lab ID #: 94688 - 13<br>Cust. #: 13-01<br>Material: Yellow Linoleum<br>Location:<br>Appearance: yellow, fibrous, nonhomogenous<br>Layer: 1 of 1     | Asbestos Present: <b>YES</b><br>Chrysotile - 15%    | Other - 85%  |

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Robert T. Letarte Jr., Laboratory Director

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Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material |
|---|---|-----------------------|
| Lab ID #: 94688 - 14<br>Cust. #: 14-01<br>Material: 4" Green Base Trim<br>Location:<br>Appearance: green,nonfibrous,homogenous<br>Layer: 1 of 3     | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |
| Lab ID #: 94688 - 14a<br>Cust. #: 14-01<br>Material: Adhesive/Yellow Glue<br>Location:<br>Appearance: yellow,nonfibrous,homogenous<br>Layer: 2 of 3 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |
| Lab ID #: 94688 - 14b<br>Cust. #: 14-01<br>Material: Adhesive/Green Glue<br>Location:<br>Appearance: green,nonfibrous,homogenous<br>Layer: 3 of 3   | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |

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Robert T. Letarte Jr., Laboratory Director

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Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material           |
|---|---|---------------------------------|
| Lab ID #: 94688 - 15<br>Cust. #: 15-01<br>Material: Splash Guard/Panel<br>Location:<br>Appearance: white, fibrous, homogenous<br>Layer: 1 of 2                  | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Fiberglass - 20%<br>Other - 80% |
| Lab ID #: 94688 - 15a<br>Cust. #: 15-01<br>Material: Adhesive/Glue<br>Location:<br>Appearance: yellow, nonfibrous, homogenous<br>Layer: 2 of 2                  | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                    |
| Lab ID #: 94688 - 16<br>Cust. #: 16-01<br>Material: Popcorn Ceiling Material/Texture<br>Location:<br>Appearance: white, nonfibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%   |

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Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material          |
|---|---|--------------------------------|
| Lab ID #: 94688 - 17<br>Cust. #: 16-02<br>Material: Popcorn Ceiling Material/Texture<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%  |
| Lab ID #: 94688 - 18<br>Cust. #: 16-03<br>Material: Popcorn Ceiling Material/Texture<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%  |
| Lab ID #: 94688 - 19<br>Cust. #: 17-01<br>Material: Drywall<br>Location:<br>Appearance: white,fibrous,nonhomogenous<br>Layer: 1 of 1                          | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Other - 80% |

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Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material                             |
|--|---|---|
| Lab ID #: 94688 - 20<br>Cust. #: 17-02<br>Material: Drywall<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Fiberglass - 2%<br>Other - 78% |
| Lab ID #: 94688 - 21<br>Cust. #: 17-03<br>Material: Drywall<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Fiberglass - 2%<br>Other - 78% |
| Lab ID #: 94688 - 22<br>Cust. #: 17-04<br>Material: Drywall<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Other - 80%                    |

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Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material                             |
|--|---|---|
| Lab ID #: 94688 - 23<br>Cust. #: 17-05<br>Material: Drywall<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Other - 80%                    |
| Lab ID #: 94688 - 24<br>Cust. #: 17-06<br>Material: Drywall<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Fiberglass - 2%<br>Other - 78% |
| Lab ID #: 94688 - 25<br>Cust. #: 17-07<br>Material: Drywall<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Other - 80%                    |

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Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material |
|---|---|-----------------------|
| Lab ID #: 94688 - 26<br>Cust. #: 18-01<br>Material: Joint Compound<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |
| Lab ID #: 94688 - 27<br>Cust. #: 18-02<br>Material: Joint Compound<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |
| Lab ID #: 94688 - 28<br>Cust. #: 18-03<br>Material: Joint Compound<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |

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Robert T. Letarte Jr., Laboratory Director

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Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material         |
|---|---|-------------------------------|
| Lab ID #: 94688 - 29<br>Cust. #: 18-04<br>Material: Joint Compound<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                  |
| Lab ID #: 94688 - 30<br>Cust. #: 18-05<br>Material: Joint Compound<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99% |
| Lab ID #: 94688 - 31<br>Cust. #: 18-06<br>Material: Joint Compound<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99% |

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Robert T. Letarte Jr., Laboratory Director

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Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material         |
|---|---|-------------------------------|
| Lab ID #: 94688 - 32<br>Cust. #: 18-07<br>Material: Joint Compound<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1         | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99% |
| Lab ID #: 94688 - 33<br>Cust. #: 19-01<br>Material: 12"x12" Tan Floor Tile<br>Location:<br>Appearance: brown,nonfibrous,homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                  |
| Lab ID #: 94688 - 33a<br>Cust. #: 19-01<br>Material: Mastic/Glue<br>Location:<br>Appearance: yellow,nonfibrous,homogenous<br>Layer: 2 of 2          | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                  |

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Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material          |
|---|---|--------------------------------|
| Lab ID #: 94688 - 34<br>Cust. #: 20-01<br>Material: Stone Pattern Linoleum<br>Location:<br>Appearance: brown, fibrous, homogenous<br>Layer: 1 of 1                      | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 40%<br>Other - 60% |
| Lab ID #: 94688 - 35<br>Cust. #: 21-01<br>Material: Yellow Decorative Stone Pattern Linoleum<br>Location:<br>Appearance: beige, fibrous, nonhomogenous<br>Layer: 1 of 2 | Asbestos Present: <b>YES</b><br>Chrysotile - 20%    | Other - 80%                    |
| Lab ID #: 94688 - 35a<br>Cust. #: 21-01<br>Material: Foam<br>Location:<br>Appearance: beige, nonfibrous, homogenous<br>Layer: 2 of 2                                    | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                   |

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Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material    |
|--|---|--------------------------|
| Lab ID #: 94688 - 36<br>Cust. #: 22-01<br>Material: Plaster/Finish Coat<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%             |
| Lab ID #: 94688 - 36a<br>Cust. #: 22-01<br>Material: Base Coat<br>Location:<br>Appearance: grey,fibrous,homogenous<br>Layer: 2 of 2              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 2%<br>Other - 98% |
| Lab ID #: 94688 - 37<br>Cust. #: 22-02<br>Material: Plaster/Finish Coat<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%             |

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Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material    |
|--|---|--------------------------|
| Lab ID #: 94688 - 37a<br>Cust. #: 22-02<br>Material: Base Coat<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 2 of 2              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 2%<br>Other - 98% |
| Lab ID #: 94688 - 38<br>Cust. #: 22-03<br>Material: Plaster/Finish Coat<br>Location:<br>Appearance: white, nonfibrous, homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%             |
| Lab ID #: 94688 - 38a<br>Cust. #: 22-03<br>Material: Base Coat<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 2 of 2              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 2%<br>Other - 98% |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # :VBCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material    |
|--|---|--------------------------|
| Lab ID #: 94688 - 39<br>Cust. #: 22-04<br>Material: Plaster/Finish Coat<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%             |
| Lab ID #: 94688 - 39a<br>Cust. #: 22-04<br>Material: Base Coat<br>Location:<br>Appearance: grey,fibrous,homogenous<br>Layer: 2 of 2              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 1%<br>Other - 99% |
| Lab ID #: 94688 - 40<br>Cust. #: 22-05<br>Material: Plaster/Finish Coat<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%             |

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Robert T. Letarte Jr., Laboratory Director

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Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material    |
|--|---|--------------------------|
| Lab ID #: 94688 - 40a<br>Cust. #: 22-05<br>Material: Base Coat<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 2 of 2              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 2%<br>Other - 98% |
| Lab ID #: 94688 - 41<br>Cust. #: 22-06<br>Material: Plaster/Finish Coat<br>Location:<br>Appearance: white, nonfibrous, homogenous<br>Layer: 1 of 3 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%             |
| Lab ID #: 94688 - 41a<br>Cust. #: 22-06<br>Material: Base Coat<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 2 of 3              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 1%<br>Other - 99% |

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Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material          |
|--|---|--------------------------------|
| Lab ID #: 94688 - 41b<br>Cust. #: 22-06<br>Material: Drywall<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 3 of 3            | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 20%<br>Other - 80% |
| Lab ID #: 94688 - 42<br>Cust. #: 22-07<br>Material: Plaster/Finish Coat<br>Location:<br>Appearance: white, nonfibrous, homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                   |
| Lab ID #: 94688 - 42a<br>Cust. #: 22-07<br>Material: Base Coat<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 2 of 2              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Hair - 2%<br>Other - 98%       |

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Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material          |
|--|---|--------------------------------|
| Lab ID #: 94688 - 43<br>Cust. #: 23-01<br>Material: Asphalt Flooring<br>Location:<br>Appearance: grey, fibrous, nonhomogenous<br>Layer: 1 of 1     | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 50%<br>Other - 50% |
| Lab ID #: 94688 - 44<br>Cust. #: 24-01<br>Material: Fiberboard<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 1 of 1              | Asbestos Present: <b>YES</b><br>Chrysotile - 60%    | Other - 40%                    |
| Lab ID #: 94688 - 45<br>Cust. #: 25-01<br>Material: Aircell Pipe Insulation<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>YES</b><br>Chrysotile - 60%    | Cellulose - 20%<br>Other - 20% |

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| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material |
|---|---|-----------------------|
| Lab ID #: 94688 - 46<br>Cust. #: 26-01<br>Material: Penetration Flue Insulation<br>Location:<br>Appearance: white, fibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>YES</b><br>Chrysotile - 70%    | Other - 30%           |
| Lab ID #: 94688 - 47<br>Cust. #: 27-01<br>Material: 12"x12" Brown & Black FT<br>Location:<br>Appearance: brown, nonfibrous, homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |
| Lab ID #: 94688 - 47a<br>Cust. #: 27-01<br>Material: Mastic/Glue<br>Location:<br>Appearance: clear, nonfibrous, homogenous<br>Layer: 2 of 2             | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |

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| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material                                |
|--|---|--|
| Lab ID #: 94688 - 48<br>Cust. #: 28-01<br>Material: 2'x2' Dot Dent Drop Ceiling Tile<br>Location:<br>Appearance: beige, fibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 40%<br>Mineral Wool - 30%<br>Other - 30% |
| Lab ID #: 94688 - 49<br>Cust. #: 29-01<br>Material: Textured Paint<br>Location:<br>Appearance: white, nonfibrous, homogenous<br>Layer: 1 of 1                | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%                        |
| Lab ID #: 94688 - 50<br>Cust. #: 29-02<br>Material: Textured Paint<br>Location:<br>Appearance: yellow, nonfibrous, homogenous<br>Layer: 1 of 1               | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%   |

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| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material         |
|---|---|-------------------------------|
| Lab ID #: 94688 - 51<br>Cust. #: 29-03<br>Material: Textured Paint<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99% |
| Lab ID #: 94688 - 52<br>Cust. #: 29-04<br>Material: Textured Paint<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                  |
| Lab ID #: 94688 - 53<br>Cust. #: 29-05<br>Material: Textured Paint<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                  |

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| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material                             |
|---|---|---|
| Lab ID #: 94688 - 54<br>Cust. #: 30-01<br>Material: Attic Insulation<br>Location:<br>Appearance: grey, fibrous, homogenous<br>Layer: 1 of 1                   | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 90%<br>Other - 10%                    |
| Lab ID #: 94688 - 55<br>Cust. #: 31-01<br>Material: White Linoleum<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1                 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 5%<br>Fiberglass - 10%<br>Other - 85% |
| Lab ID #: 94688 - 56<br>Cust. #: 32-01<br>Material: Wood Pattern Linoleum/Flooring<br>Location:<br>Appearance: brown, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Fiberglass - 5%<br>Other - 95%                    |

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Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material                              |
|--|---|--|
| Lab ID #: 94688 - 57<br>Cust. #: 33-01<br>Material: Linoleum Remnant<br>Location:<br>Appearance: beige, fibrous, homogenous<br>Layer: 1 of 1                   | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 10%<br>Fiberglass - 10%<br>Other - 80% |
| Lab ID #: 94688 - 58<br>Cust. #: 34-01<br>Material: 12"x12" Tan Floor Tile w/Layers<br>Location:<br>Appearance: brown, nonfibrous, homogenous<br>Layer: 1 of 3 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%                      |
| Lab ID #: 94688 - 58a<br>Cust. #: 34-01<br>Material: Glue<br>Location:<br>Appearance: yellow, nonfibrous, homogenous<br>Layer: 2 of 3                          | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                                       |

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Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material                             |
|---|---|---|
| Lab ID #: 94688 - 58b<br>Cust. #: 34-01<br>Material: Linoleum<br>Location:<br>Appearance: brown, fibrous, nonhomogenous<br>Layer: 3 of 3                  | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 10%<br>Fiberglass - 5%<br>Other - 85% |
| Lab ID #: 94688 - 59<br>Cust. #: 35-01<br>Material: 2'x2' Plain Drop Ceiling Tile<br>Location:<br>Appearance: brown, fibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 80%<br>Other - 20%                    |
| Lab ID #: 94688 - 60<br>Cust. #: 36-01<br>Material: Stove Back Adhesive/Glue<br>Location:<br>Appearance: brown, nonfibrous, homogenous<br>Layer: 1 of 2   | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                                      |

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| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material           |
|---|---|---------------------------------|
| Lab ID #: 94688 - 60a<br>Cust. #: 36-01<br>Material: Fiberboard<br>Location:<br>Appearance: brown, fibrous, homogenous<br>Layer: 2 of 2                             | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 80%<br>Other - 20%  |
| Lab ID #: 94688 - 61<br>Cust. #: 37-01<br>Material: Splash Guard Adhesive/Glue<br>Location: 2nd Floor<br>Appearance: green, nonfibrous, homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                    |
| Lab ID #: 94688 - 61a<br>Cust. #: 37-01<br>Material: Splash Guard<br>Location: 2nd Floor<br>Appearance: white, fibrous, homogenous<br>Layer: 2 of 2                 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Fiberglass - 30%<br>Other - 70% |

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| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material                            |
|--|---|--|
| Lab ID #: 94688 - 62<br>Cust. #: 38-01<br>Material: Linoleum<br>Location: Under North Kitchen Flooring<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 5%<br>Fiberglass - 5%<br>Other - 90% |
| Lab ID #: 94688 - 63<br>Cust. #: 39-01<br>Material: White Sink Undercoat<br>Location:<br>Appearance: white, fibrous, homogenous<br>Layer: 1 of 1                     | Asbestos Present: <b>YES</b><br>Chrysotile - 10%    | Other - 90%                                      |
| Lab ID #: 94688 - 64<br>Cust. #: 40-01<br>Material: 9"x9" Stone Pattern FT<br>Location:<br>Appearance: brown, nonfibrous, homogenous<br>Layer: 1 of 2                | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%                    |

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| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material |
|--|---|-----------------------|
| Lab ID #: 94688 - 64a<br>Cust. #: 40-01<br>Material: Glue<br>Location:<br>Appearance: yellow,nonfibrous,homogenous<br>Layer: 2 of 2            | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |
| Lab ID #: 94688 - 65<br>Cust. #: 41-01<br>Material: Yellow Glue<br>Location:<br>Appearance: yellow,nonfibrous,homogenous<br>Layer: 1 of 4      | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%          |
| Lab ID #: 94688 - 65a<br>Cust. #: 41-01<br>Material: 9"x9" Dark Brown FT<br>Location:<br>Appearance: brown,fibrous,homogenous<br>Layer: 2 of 4 | Asbestos Present: <b>YES</b><br>Chrysotile - 10%    | Other - 90%           |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

Test Method EPA 40 CFR - Part 763 and/or EPA 600/R-93/116 was used to analyze the above samples. Matrix interference and/or resolution limits may yield false/negative results in certain circumstances. Suspect floor tiles containing <1% should be tested with SEM or TEM. This certificate of analysis relates only to the samples as submitted and to insure the integrity of the results, may only be reproduced in full. This certificate must not be used by the customer to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government. APEX Research Inc. is not responsible for the accuracy of the results for layered samples or samples comprising multiple materials. Liability limited to cost of analysis.



# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # :VBCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material          |
|---|---|--------------------------------|
| Lab ID #: 94688 - 65b<br>Cust. #: 41-01<br>Material: Mastic<br>Location:<br>Appearance: black,nonfibrous,homogenous<br>Layer: 3 of 4                    | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%  |
| Lab ID #: 94688 - 65c<br>Cust. #: 41-01<br>Material: Felt<br>Location:<br>Appearance: brown,fibrous,nonhomogenous<br>Layer: 4 of 4                      | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 80%<br>Other - 20% |
| Lab ID #: 94688 - 66<br>Cust. #: 42-01<br>Material: Ceramic Tile Adhesive/Glue<br>Location:<br>Appearance: white,nonfibrous,homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                   |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # :VBCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material                            |
|---|---|--|
| Lab ID #: 94688 - 67<br>Cust. #: 43-01<br>Material: Black Sink Undercoat<br>Location:<br>Appearance: black, fibrous, homogenous<br>Layer: 1 of 1            | Asbestos Present: <b>YES</b><br>Chrysotile - 5%     | Other - 95%                                      |
| Lab ID #: 94688 - 68<br>Cust. #: 44-01<br>Material: Light Stone Pattern Linoleum<br>Location:<br>Appearance: beige, fibrous, nonhomogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 5%<br>Fiberglass - 5%<br>Other - 90% |
| Lab ID #: 94688 - 68a<br>Cust. #: 44-01<br>Material: Sheet Flooring<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 2 of 2              | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 50%<br>Other - 50%                   |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # :VBCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material          |
|--|---|--------------------------------|
| Lab ID #: 94688 - 69<br>Cust. #: 45-01<br>Material: Tan Paper/Tar paper<br>Location: Under Carpet<br>Appearance: black, fibrous, homogenous<br>Layer: 1 of 1 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 60%<br>Other - 40% |
| Lab ID #: 94688 - 70<br>Cust. #: 46-01<br>Material: Layered Flooring/Linoleum<br>Location:<br>Appearance: beige, fibrous, nonhomogenous<br>Layer: 1 of 4     | Asbestos Present: <b>YES</b><br>Chrysotile - 15%    | Other - 85%                    |
| Lab ID #: 94688 - 70a<br>Cust. #: 46-01<br>Material: Floor Tile<br>Location:<br>Appearance: brown, fibrous, homogenous<br>Layer: 2 of 4                      | Asbestos Present: <b>YES</b><br>Chrysotile - 10%    | Other - 90%                    |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # : VCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information  | Asbestos Type/Percent                               | Non-Asbestos Material          |
|---|---|--------------------------------|
| Lab ID #: 94688 - 70b<br>Cust. #: 46-01<br>Material: Mastic<br>Location:<br>Appearance: black, nonfibrous, homogenous<br>Layer: 3 of 4                                | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 1%<br>Other - 99%  |
| Lab ID #: 94688 - 70c<br>Cust. #: 46-01<br>Material: Felt<br>Location:<br>Appearance: brown, fibrous, nonhomogenous<br>Layer: 4 of 4                                  | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 80%<br>Other - 20% |
| Lab ID #: 94688 - 71<br>Cust. #: 47-01<br>Material: Ceramic Style Fiberboard Adhesive/Glue<br>Location:<br>Appearance: beige, nonfibrous, homogenous<br>Layer: 1 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Other - 100%                   |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

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# Certificate of Laboratory Analysis

## Test Method, Polarized Light Microscopy (PLM)



Project : 5 West Main Street, Harford, MI  
Project # :VBCBRA/210068

**Report To:**

Mr. Aaron Bigler; Mr. Erik Peterson  
Envirologic  
2960 Interstate Parkway  
Kalamazoo, MI 49048

ARI Report # 21-94688  
Date Collected: 06/09/21  
Date Received: 06/14/21  
Date Analyzed: 06/17/21  
Date Reported: 06/21/21

| Sample Information   | Asbestos Type/Percent                               | Non-Asbestos Material          |
|--|---|--------------------------------|
| Lab ID #: 94688 - 71a<br>Cust. #: 47-01<br>Material: Fiberboard<br>Location:<br>Appearance: white, fibrous, nonhomogenous<br>Layer: 2 of 2 | Asbestos Present: <b>NO</b><br>No Asbestos Observed | Cellulose - 85%<br>Other - 15% |
| Lab ID #:<br>Cust. #:<br>Material:<br>Location:<br>Appearance:<br>Layer: of  | Asbestos Present:                                   |                                |
| Lab ID #:<br>Cust. #:<br>Material:<br>Location:<br>Appearance:<br>Layer: of  | Asbestos Present:                                   |                                |

For Layered Samples, each component will be analyzed and reported separately.

Robert T. Letarte Jr., Laboratory Director

Test Method EPA 40 CFR - Part 763 and/or EPA 600/R-93/116 was used to analyze the above samples. Matrix interference and/or resolution limits may yield false/negative results in certain circumstances. Suspect floor tiles containing <1% should be tested with SEM or TEM. This certificate of analysis relates only to the samples as submitted and to insure the integrity of the results, may only be reproduced in full. This certificate must not be used by the customer to claim product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government. APEX Research Inc. is not responsible for the accuracy of the results for layered samples or samples comprising multiple materials. Liability limited to cost of analysis.



## APEX Research, Inc.

11054 Hi Tech Drive, Whitmore Lake, MI 48189. Phone: (734) 449 - 9990, Fax (734) 449 - 9991 www.ApexMI.com

Customer Name: Envirologic Technologies, Inc.Address: 2960 Interstate ParkwayCity, St., Zip: Kalamazoo, Michigan 49048Phone: 269-342-1100 Fax: 269-342-4945

Turn Around Time: (circle one) \*\*\*Terms and conditions on the other side.

Rush 24 hour

48 hour 72 hour

Other: 5 days/standard TTF yes / noSamples received after 3pm  
logged in next morning (Test Turn Positive)Date of Survey: June 9, 2021Project: 5 West Main Street, Harford, MIProject #: VBCBRA/210068Contact Person: Aaron Bigler; Erik PetersonEmail: bigler@envirologic.com; peterson@envirologic.com**Circle analyses required, indicate type and quantity**Asbestos: Bulk  Wipe  Point Count <1% PCM Lead / Cad / Chrome: Wipe ASTM E1792? circle YES or NO  Air  Paint  Bulk Mold: Bulk  Air/Zefon/AlergencoD  BioSIS  Tape TEM: Bulk/NOB  NIOSH 7402  EPA Level II  Other 

Lab Use Only

Log-In: \_\_\_\_\_

Report: \_\_\_\_\_

Fax: \_\_\_\_\_

Verbal: \_\_\_\_\_

Email: \_\_\_\_\_

| Lab ID | Customer ID # | Material/Location                       | Volume | Area | Results |
|--------|---------------|---|--------|------|---------|
|        | 01-01         | Exterior Plaster                        |        |      |         |
|        | 02-01         | 2nd Floor Doorway Caulk                 |        |      |         |
|        | 03-01         | Exterior Window Glazing                 |        |      |         |
|        | 04-01         | 2nd Floor Flashing Tar                  |        |      |         |
|        | 05-01         | Exterior Brick Skim Coat                |        |      |         |
|        | 06-01         | Building Joint Caulk                    |        |      |         |
|        | 07-01         | Multi-Layer Salon Flooring              |        |      |         |
|        | 08-01         | Beige 12" x 12" Pattern Linoleum        |        |      |         |
|        | 09-01         | 1' x 1' Ceiling Tile                    |        |      |         |
|        | 10-01         | 2' x 4' Uneven Patter Drop Ceiling Tile |        |      |         |
|        | 11-01         | 2' x 4' Dot Wormy Drop Ceiling Tile     |        |      |         |
|        | 12-01         | 2' x 4' Dot Dent Drop Ceiling Tile      |        |      |         |
|        | 13-01         | Yellow Linoleum                         |        |      |         |
|        | 14-01         | 4" Green Base Trim with Adhesive        |        |      |         |
|        | 15-01         | Splash Guard Adhesive                   |        |      |         |

Relinquished By: \_\_\_\_\_

Date: 6/11/2021

Revision R4 Date: May/2017

Received By: \_\_\_\_\_

Time/Date: 1005 JUN 14 2021

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Date: \_\_\_\_\_

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## APEX Research, Inc.

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Customer Name: Envirologic Technologies, Inc.  
 Address: 2960 Interstate Parkway  
 City, St., Zip: Kalamazoo, Michigan 49048  
 Phone: 269-342-1100 Fax: 269-342-4945  
 Turn Around Time: (circle one) 5 days/standard \*\*\*Terms and conditions on the other side.

Date of Survey: June 9, 2021  
 Project: 5 West Main Street, Harford, MI  
 Project #: VBCBRA/210068  
 Contact Person: Aaron Bigler; Erik Peterson  
 Email: bigler@envirologic.com; peterson@envirologic.com

Lab Use Only  
 Log-In: \_\_\_\_\_  
 Report: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Verbal: \_\_\_\_\_  
 Email: \_\_\_\_\_

Rush \_\_\_\_\_ 24 hour \_\_\_\_\_  
 48 hour \_\_\_\_\_ 72 hour \_\_\_\_\_  
 Other: 5 days/standard TTF yes / no  
Samples received after 3pm logged in next morning  
(Test Turn Positive)

Asbestos: Bulk  Wipe \_\_\_\_\_ Point Count <1% PCM \_\_\_\_\_  
 Lead / Cad / Chrome: Wipe ASTM E1792? circle YES or NO \_\_\_\_\_ Air \_\_\_\_\_ Paint \_\_\_\_\_ Bulk \_\_\_\_\_  
 Mold: Bulk \_\_\_\_\_ Air/Zefon/AlergencoD \_\_\_\_\_ BioSIS \_\_\_\_\_ Tape \_\_\_\_\_  
 TEM: Bulk/NOB \_\_\_\_\_ NIOSH 7402 \_\_\_\_\_ EPA Level II \_\_\_\_\_ Other \_\_\_\_\_

| Lab ID | Customer ID # | Material/Location        | Volume | Area | Results |
|--------|---------------|--------------------------|--------|------|---------|
|        | 16-01         | Popcorn Ceiling Material |        |      |         |
|        | 16-02         | Popcorn Ceiling Material |        |      |         |
|        | 16-03         | Popcorn Ceiling Material |        |      |         |
|        | 17-01         | Drywall                  |        |      |         |
|        | 17-02         | Drywall                  |        |      |         |
|        | 17-03         | Drywall                  |        |      |         |
|        | 17-04         | Drywall                  |        |      |         |
|        | 17-05         | Drywall                  |        |      |         |
|        | 17-06         | Drywall                  |        |      |         |
|        | 17-07         | Drywall                  |        |      |         |
|        | 18-01         | Joint Compound           |        |      |         |
|        | 18-02         | Joint Compound           |        |      |         |
|        | 18-03         | Joint Compound           |        |      |         |
|        | 18-04         | Joint Compound           |        |      |         |
|        | 18-05         | Joint Compound           |        |      |         |

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 Date: 6/11/2021  
 Revision R4 Date: May/2017

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## APEX Research, Inc.

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Customer Name: Envirologic Technologies, Inc.  
 Address: 2960 Interstate Parkway  
 City, St., Zip: Kalamazoo, Michigan 49048  
 Phone: 269-342-1100 Fax: 269-342-4945

Date of Survey: June 9, 2021  
 Project: 5 West Main Street, Harford, MI  
 Project #: VBCBRA/210068  
 Contact Person: Aaron Bigler; Erik Peterson  
 Email: bigler@envirologic.com; peterson@envirologic.com

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 Log-In: \_\_\_\_\_  
 Report: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Verbal: \_\_\_\_\_  
 Email: \_\_\_\_\_

Turn Around Time: (circle one) \*\*\*Terms and conditions on the other side.

Rush \_\_\_\_\_ 24 hour \_\_\_\_\_  
 48 hour \_\_\_\_\_ 72 hour \_\_\_\_\_  
 Other: 5 days/standard TTF yes / no  
Samples received after 3pm  
 logged in next morning  
(Test Turn Positive)

Asbestos: Bulk X Wipe \_\_\_\_\_ Point Count <1% PCM \_\_\_\_\_  
 Lead / Cad / Chrome: Wipe ASTM E1792? circle YES or NO \_\_\_\_\_ Air \_\_\_\_\_ Paint \_\_\_\_\_ Bulk \_\_\_\_\_  
 Mold: Bulk \_\_\_\_\_ Air/Zefon/AlergencoD \_\_\_\_\_ BioSIS \_\_\_\_\_ Tape \_\_\_\_\_  
 TEM: Bulk/NOB \_\_\_\_\_ NIOSH 7402 \_\_\_\_\_ EPA Level II \_\_\_\_\_ Other \_\_\_\_\_

| Lab ID | Customer ID # | Material/Location                        | Volume | Area | Results |
|--------|---------------|--|--------|------|---------|
|        | 18-06         | Joint Compound                           |        |      |         |
|        | 18-07         | Joint Compound                           |        |      |         |
|        | 19-01         | 12" x 12" Tan Floor Tile with Mastic     |        |      |         |
|        | 20-01         | Stone Pattern Linoleum                   |        |      |         |
|        | 21-01         | Yellow Decorative Stone Pattern Linoleum |        |      |         |
|        | 22-01         | Plaster                                  |        |      |         |
|        | 22-02         | Plaster                                  |        |      |         |
|        | 22-03         | Plaster                                  |        |      |         |
|        | 22-04         | Plaster                                  |        |      |         |
|        | 22-05         | Plaster                                  |        |      |         |
|        | 22-06         | Plaster                                  |        |      |         |
|        | 22-07         | Plaster                                  |        |      |         |
|        | 23-01         | Asphalt Flooring                         |        |      |         |
|        | 24-01         | Fiberboard                               |        |      |         |
|        | 25-01         | Aircell Pipe Insulation                  |        |      |         |

Relinquished By: \_\_\_\_\_

Date: 6/14/2021

Revision R4 Date: May/2017

Received By: \_\_\_\_\_

Time/Date: 1005 JUN 14 2021

Relinquished By: \_\_\_\_\_

Date: \_\_\_\_\_

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Time/Date: \_\_\_\_\_

APEX RESEARCH

## APEX Research, Inc.

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Customer Name: Envirologic Technologies, Inc.  
 Address: 2960 Interstate Parkway  
 City, St., Zip: Kalamazoo, Michigan 49048  
 Phone: 269-342-1100 Fax: 269-342-4945

Date of Survey: June 9, 2021  
 Project: 5 West Main Street, Harford, MI  
 Project #: VBCBRA/210068  
 Contact Person: Aaron Bigler; Erik Peterson  
 Email: bigler@envirologic.com; peterson@envirologic.com

Lab Use Only  
 Log-In: \_\_\_\_\_  
 Report: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 Verbal: \_\_\_\_\_  
 Email: \_\_\_\_\_

Turn Around Time: (circle one) 5 days/standard Terms and conditions on the other side.

Rush \_\_\_\_\_ 24 hour \_\_\_\_\_  
 48 hour \_\_\_\_\_ 72 hour \_\_\_\_\_  
 Other: 5 days/standard TTF yes / no  
Samples received after 3pm  
 logged in next morning  
(Test Turn Positive)

Asbestos: Bulk X Wipe \_\_\_\_\_ Point Count <1% PCM \_\_\_\_\_  
 Lead / Cad / Chrome: Wipe ASTM E1792? circle YES or NO \_\_\_\_\_ Air \_\_\_\_\_ Paint \_\_\_\_\_ Bulk \_\_\_\_\_  
 Mold: Bulk \_\_\_\_\_ Air/Zefon/AlergencoD \_\_\_\_\_ BioSIS \_\_\_\_\_ Tape \_\_\_\_\_  
 TEM: Bulk/NOB \_\_\_\_\_ NIOSH 7402 \_\_\_\_\_ EPA Level II \_\_\_\_\_ Other \_\_\_\_\_

| Lab ID | Customer ID # | Material/Location                                | Volume | Area | Results |
|--------|---------------|--|--------|------|---------|
|        | 26-01         | Penetration Flue Insulation                      |        |      |         |
|        | 27-01         | 12" x 12" Brown and Black Floor Tile with Mastic |        |      |         |
|        | 28-01         | 2' x 2' Dot Dent Drop Ceiling Tile               |        |      |         |
|        | 29-01         | Textured Paint                                   |        |      |         |
|        | 29-02         | Textured Paint                                   |        |      |         |
|        | 29-03         | Textured Paint                                   |        |      |         |
|        | 29-04         | Textured Paint                                   |        |      |         |
|        | 29-05         | Textured Paint                                   |        |      |         |
|        | 30-01         | Attic Insulation                                 |        |      |         |
|        | 31-01         | White Linoleum                                   |        |      |         |
|        | 32-01         | Wood Pattern Linoleum                            |        |      |         |
|        | 33-01         | Linoleum Remnant                                 |        |      |         |
|        | 34-01         | 12" x 12" Tan Floor Tile with Layers             |        |      |         |
|        | 35-01         | 2' x 2' Plain Drop Ceiling Tile                  |        |      |         |
|        | 36-01         | Stove Back Adhesive                              |        |      |         |

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 Date: 6/11/2021

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 Time/Date: 1005 Date: \_\_\_\_\_

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 Time/Date: \_\_\_\_\_

Revision R4 Date: May/2017

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## APEX Research, Inc.

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Customer Name: Envirologic Technologies, Inc.Address: 2960 Interstate ParkwayCity, St., Zip: Kalamazoo, Michigan 49048Phone: 269-342-1100 Fax: 269-342-4945Turn Around Time: (circle one) 5 days/standard \*\*\*Terms and conditions on the other side.

Rush 24 hour

48 hour 72 hour

Other: 5 days/standard TTF yes / noSamples received after 3pm  
logged in next morning

(Test Turn Positive)

Date of Survey: June 9, 2021Project: 5 West Main Street, Harford, MIProject #: VCBRA/210068Contact Person: Aaron Bigler; Erik PetersonEmail: bigler@envirologic.com; peterson@envirologic.com**Circle analyses required, indicate type and quantity**Asbestos: Bulk X Wipe      Point Count <1% PCM     Lead / Cad / Chrome: Wipe ASTM E1792? circle YES or NO      Air      Paint      Bulk     Mold: Bulk      Air/Zefon/AlergencoD      BioSIS      Tape     TEM: Bulk/NOB      NIOSH 7402      EPA Level II      Other     

Lab Use Only

Log-In:     Report:     Fax:     Verbal:     Email:     

| Lab ID | Customer ID # | Material/Location                         | Volume | Area | Results |
|--------|---------------|---|--------|------|---------|
|        | 37-01         | 2nd Floor Splash Guard Adhesive           |        |      |         |
|        | 38-01         | Linoleum under North Kitchen Flooring     |        |      |         |
|        | 39-01         | White Sink Undercoat                      |        |      |         |
|        | 40-01         | 9" x 9" Stone Pattern Floor Tile          |        |      |         |
|        | 41-01         | 9" x 9" Dark Brown Floor Tile with Mastic |        |      |         |
|        | 42-01         | Ceramic Tile Adhesive                     |        |      |         |
|        | 43-01         | Black Sink Undercoat                      |        |      |         |
|        | 44-01         | Light Stone Pattern Linoleum              |        |      |         |
|        | 45-01         | Tan Paper under Carpet                    |        |      |         |
|        | 46-01         | Layered Flooring                          |        |      |         |
|        | 47-01         | Ceramic Style Fiberboard Adhesive         |        |      |         |
|        |               |   |        |      |         |
|        |               |   |        |      |         |
|        |               |   |        |      |         |
|        |               |   |        |      |         |

Relinquished By: [Signature]Received By: [Signature]Relinquished By:     Received By:     Date: 6/11/2021Time/Date: 1005 JUN 14 2021Date:     Time/Date:     

Revision R4 Date: May/2017

APEX RESEARCH

**APPENDIX D**

**GENERAL BUILDING PHOTOGRAPHS**





HA-04: 2nd Floor Flashing Tar



HA-06: Building Joint Caulk



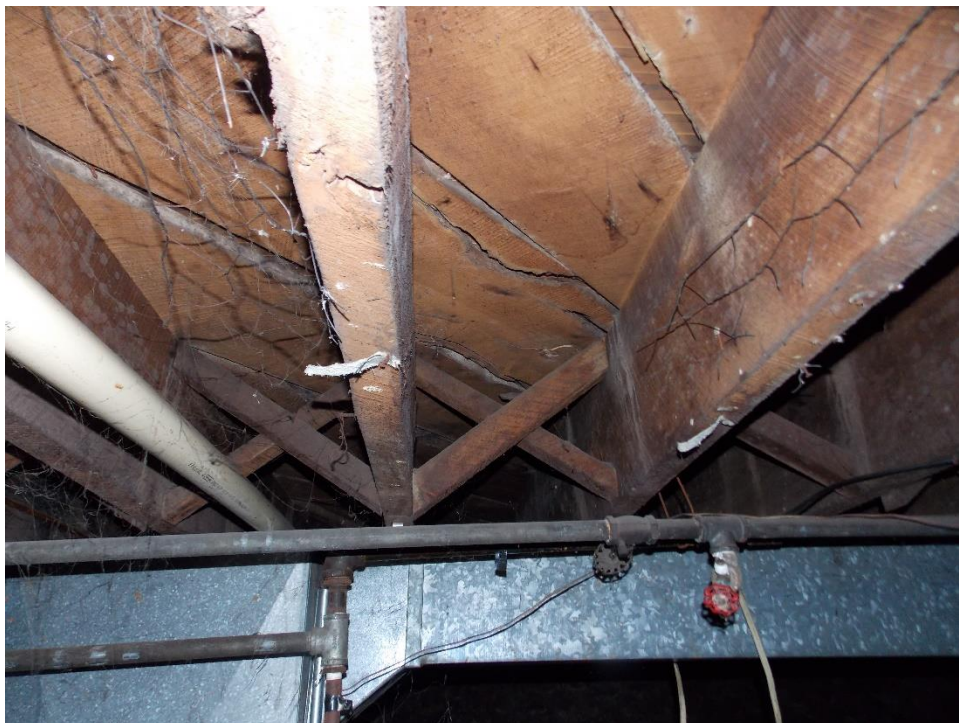
HA-07: Multi-Layer Salon Flooring



HA-13: Yellow Linoleum



HA-21: Yellow Decorative Stone Pattern Linoleum



HA-24: Fiberboard



HA-25: Aircell Pipe Insulation



HA-26: Penetration Flue Insulation



HA-39: White Sink Undercoat



HA-41: 9" x 9" Dark Brown Floor Tile



HA-43: Black Sink Undercoat

**NO PHOTOGRAPH AVAILABLE**

HA-46: Layered Flooring

**APPENDIX E**  
**DATA VALIDATION REPORT**



**DATA VALIDATION REPORT  
(QUALITY ASSURANCE ASSESSMENT)  
FOR  
MIXED-USE PROPERTY  
5 WEST MAIN STREET  
HARTFORD, MICHIGAN**

Envirologic has completed a Hazardous Materials Building Survey of an approximately 1,800-square-foot two-story mixed-use building located at 5 West Main Street, Hartford, Michigan (subject property). This work was conducted through the Van Buren County Brownfield Redevelopment Authority under the U.S. EPA grant number BF OE02005. The U.S. EPA affirmed the eligibility of this site. The purpose of this Data Validation Report is to validate and verify the asbestos analytical data and draw conclusions on the data in relation to the Data Quality Objectives.

**DQOS AND SAMPLE DESIGN REVIEW**

The Van Buren County Brownfield Redevelopment Authority (VBCBRA) has provided support to the Van Buren County Land Bank Authority associated with redevelopment activities at the project site. The Van Buren County Land Bank Authority intends to either renovate and rehabilitate the existing building or demolish the existing building, in support of redeveloping the subject property. Based upon the age of the structure, the potential presence of asbestos containing materials has been identified as a concern during the completion of redevelopment activities.

**DATA QUALITY OBJECTIVES**

The Survey was designed to determine the following:

- Are asbestos-containing materials present within the subject building? What are the types, quantities, and locations of asbestos-containing materials present within the building? What potential abatement/control measures are necessary in support of renovation/demolition of the building?

**DATA REVIEW (DATA VERIFICATION AND VALIDATION)**

The data collected in the investigation was reviewed by the Data Manager, with supporting review provided by the Manager of Redevelopment Services, David Stegink. The purpose of the review

was to confirm (verify) that the data was collected in accordance with the Standard Operating Procedures (SOPs) and the Quality Assurance Project Plan (QAPP). The quality of the data was simultaneously assessed to determine that it was scientifically valid. The purpose of the data verification and validation was to determine the usefulness of the data in making decisions posed by the DQOs, and for making decisions on future property use with respect to environmental concerns. All of the collected data was determined to be verified and valid using the PARCC criteria (precision, accuracy, representativeness, completeness and comparability), as explained in the following table:

| Criteria           | Field Data   | Laboratory Data  |
|--------------------|--|--|
| Precision          | Field methods were followed in order to provide data within the precision limits of the field equipment. Duplicate samples were also collected to measure the precision of the analytical methods. | The laboratory analytical results met the Report Limits.   |
| Accuracy           | No Trip Blanks were collected based upon the lack of volatile organic compound sample collection.  | The results were within acceptable limits.   |
| Representativeness | The laboratory results were representative of field observations.  | The samples for analysis were extracted from the original samples following standard methods, and thus are representative.                   |
| Completeness       | All of the samples collected in the field were analyzed as intended.   | All of the analyses provided by the laboratory were determined to be complete.   |
| Comparability      | Three mask duplicate samples were collected. Analytical results for the original and duplicate samples were comparable.  | The samples were analyzed following standard methods and thus are comparable to regulatory criteria and other samples from the project site. |

### Field Procedures

The asbestos survey was completed by Mr. Robert Webster and Mr. Aaron Bigler of Envirologic. The Sampling Plan, SOP and QAPP were reviewed in a pre-field work meeting. Field notes and chain-of-custody procedures were reviewed for this data assessment and found to meet the performance criteria.



### Quality Assurance/Quality Control Samples

Based upon the fact that this project did not involve the collection of soil, soil-gas, or groundwater samples; typical QA/QC samples including: Trip blanks, methanol blanks, or Matrix Spike/Matrix Spike Duplicate (MS/MSD) samples were not collected as part of the asbestos survey.

The QA/QC samples collected for this project are presented in following table:

| Sample ID | Matrix         | Type                             |
|-----------|----------------|----------------------------------|
| 16-02     | Bldg. Material | Mask Duplicate for sample #16-01 |
| 17-02     | Bldg. Material | Mask Duplicate for sample #17-01 |
| 18-02     | Bldg. Material | Mask Duplicate for sample #18-01 |

### *Duplicate Samples*

The purpose of the masked duplicate samples was to evaluate the ability of the laboratory to replicate data. Based upon the fact that the same results were achieved for the masks and corresponding samples, the results of the mask samples demonstrate no concern with the ability of the laboratory to replicate data.

### Data Reduction and Processing

Limited data reduction and processing was conducted for this project. The field notes and sample collection logs were composed by the site inspectors. The analytical laboratory data sheets and Asbestos Survey report were reviewed by the Data Manager, Erik Peterson. The Hazardous Materials Building Survey report was reviewed by the Project Manager and Manager of Redevelopment Services, David Stegink.

### STATISTICAL TEST

Statistical methods were used for the laboratory data. A statistical analysis was completed consisting of the direct comparison of the detected analytes to the cleanup criteria. Conclusions could be drawn from a direct comparison of numbers and thus further statistics were not employed.



## CONCLUSIONS

All of the data collected has been verified and is valid to make decisions for the DQOs. The data presents conditions that would logically be expected based upon the identified age of the subject building.



## APPENDIX F

### NOTIFICATION OF INTENT TO RENOVATE/DEMOLISH



# NOTIFICATION OF INTENT TO RENOVATE/DEMOLISH



MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES, AND ENERGY (EGLE) AIR QUALITY DIVISION  
NESHAP, 40 CFR Part 61, Subpart M



MICHIGAN DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS (LARA), ASBESTOS PROGRAM,  
P.A. 135 OF 1986, AS AMENDED, Section 220 (1-4) or (8)

**EGLE/LARA USE ONLY**

Postmark Date \_\_\_\_/\_\_\_\_/\_\_\_\_ Rec'd Date \_\_\_\_/\_\_\_\_/\_\_\_\_

Emergency Date \_\_\_\_/\_\_\_\_/\_\_\_\_ Valid No. \_\_\_\_\_

OK  Send Def Ltr. Date of Def Ltr. \_\_\_\_/\_\_\_\_/\_\_\_\_

FOLLOW UP \_\_\_\_/\_\_\_\_/\_\_\_\_ Spoke w/ \_\_\_\_\_

Comments: \_\_\_\_\_

Notification No. \_\_\_\_\_ Trans No. \_\_\_\_\_

**Calculate LARA Asbestos Project Fee:** (1% Project Fee)

Total Project Cost: \_\_\_\_\_ x 0.01 = \_\_\_\_\_

Type of Contractor: \_\_\_\_\_ License No.: \_\_\_\_\_

Licensing Authority: \_\_\_\_\_

**1. NOTIFICATION:**

Date of Notification: \_\_\_\_\_

Date of Revision(s): \_\_\_\_\_

Notification Type:  Original  Revised  Canceled  Annual

**Mark appropriate boxes: (both EGLE and LARA may apply):**

**EGLE (NESHAP) [260 In. ft./160 sq. ft. or more is**

**threshold]** Planned Renovation – 10 **working** days notice

Emergency Renovation

Scheduled Demolition – 10 **working** days notice

Intentional Burn – 10 **working** days notice

Ordered Demolition

**LARA (MIOSHA) [Will not accept annual notifications]**

Demo, Reno, Encap. (>10 In. ft./15 sq. ft.) 10 **calendar** days notice

Emergency Renovation/Encapsulation

**2. PROJECT SCHEDULE:**

**START DATE                      END DATE**

\* Renovation                      \_\_\_\_\_                      \_\_\_\_\_

+Asb. Removal                      \_\_\_\_\_                      \_\_\_\_\_

+Demolition:                      \_\_\_\_\_                      \_\_\_\_\_

Encapsulation:                      \_\_\_\_\_                      \_\_\_\_\_

**Work Schedule:** Please indicate the anticipated days of the week and work hours for the purpose of scheduling a compliance inspection.

**Days of the Week                      Work Hours**

Asb. Removal:                      \_\_\_\_\_                      \_\_\_\_\_

Demolition:                      \_\_\_\_\_                      \_\_\_\_\_

Encapsulation:                      \_\_\_\_\_                      \_\_\_\_\_

\* Includes setup, build enclosure, asbestos removal, demobilizing, etc.

+Include **only** those dates you are conducting asbestos removal/demo.

Check here if this is a multi-phased project, attach a schedule showing the start/end date of each phase.

**3. ABATEMENT CONTRACTOR:** Internal Project #: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

**4. DEMOLITION CONTRACTOR:** Internal Project #: \_\_\_\_\_

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

**5. FACILITY OWNER:** ("Facility" includes Bridges)

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

E-mail: \_\_\_\_\_

Contact: \_\_\_\_\_ Phone: \_\_\_\_\_

**6. FACILITY DESCRIPTION:**

Facility Name: \_\_\_\_\_

Location Address/Description: \_\_\_\_\_

\_\_\_\_\_ If Apt. # of units: \_\_\_\_\_

City/Twp. \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

County: \_\_\_\_\_ Nearest Crossroad: \_\_\_\_\_

Size: (sq. ft.) \_\_\_\_\_ No. of Floors: \_\_\_\_\_ Floor No.: \_\_\_\_\_

Age: \_\_\_\_\_ Present Use: \_\_\_\_\_ Prior Use: \_\_\_\_\_

Specific Location(s) in Facility: \_\_\_\_\_

**7. DISPOSAL SITE:**

Name: \_\_\_\_\_

Location Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

**8. WASTE TRANSPORTER 1:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone: \_\_\_\_\_

**WASTE TRANSPORTER 2:**

**9. ORDERED DEMOLITIONS:** (See NESHAP regulations for definition of "Ordered Demolition.") A copy of the official Order must accompany this notification.

Gov't Agency Ordering Demo: \_\_\_\_\_

Name/Title of Person Signing Order: \_\_\_\_\_

Date of Order: \_\_\_\_\_ Date Ordered to Begin: \_\_\_\_\_

**10. IS ASBESTOS PRESENT?**

Yes  No

To be removed prior to demolition

**Estimate the amount of asbestos:** Include RACM (Regulated Asbestos Containing Material) to be removed, encapsulated, etc. Also include the amount and type (floor tile, roofing, etc.) of non-friable Category I and/or Category II ACM that **will not** be removed prior to demolition. (**NOTE:** In a demolition, cementitious ACM cannot remain in a structure, as it is likely to become regulated in the demolition/handling process. It **must** be removed prior to demolition.)

Non-friable ACM **not** removed prior to demo.

| RACM to be Removed | RACM to be Encapsulated | Category I | Category II | Units of Measure                  |                                 |
|--------------------|-------------------------|------------|-------------|-----------------------------------|---------------------------------|
|                    |                         |            |             | <input type="checkbox"/> Ln. Ft.  | <input type="checkbox"/> Ln. M. |
|                    |                         |            |             | <input type="checkbox"/> Sq. Ft.  | <input type="checkbox"/> Sq. M. |
|                    |                         |            |             | <input type="checkbox"/> Cu. Ft.* | <input type="checkbox"/> Cu.M.* |

\*Volume (cubic ft./meters) should be used only if unable to measure by linear/square measure (example: asbestos has fallen off of surface).

**NOTIFICATION OF INTENT TO RENOVATE/DEMOLISH (continued)**

**11. PROJECT DESCRIPTION:** Complete **A) for Renovation** (asbestos removal/encapsulation) and/or **B) for Demolition**:

**A) RENOVATION:** Mark all surfaces/types of RACM to be removed:

- Piping     Fittings     Boiler(s)     Tanks(s)  
 Beam(s)     Duct(s)     Tunnel(s)     Ceiling Tile(s)  
 Mag Block     Other (describe) \_\_\_\_\_

**Encapsulation (for LARA):** Mark surfaces/types to be encapsulated:

- Piping     Fittings     Boiler(s)     Tank(s)  
 Beam(s)     Duct(s)     Tunnel(s)     Ceiling Tile(s)  
 Other (describe) \_\_\_\_\_

**Method of removal:** Describe how the asbestos will be removed from the surface (example: glove bag, scrape with hand tools, cut in sections and carefully lower, etc.): \_\_\_\_\_  
 \_\_\_\_\_

**B) DEMOLITION:** Describe the method of demolition of facility, bridge, etc., and indicate if complete or partial. If partial, describe which part of facility bridge, etc., will be demolished: \_\_\_\_\_  
 \_\_\_\_\_

**12. ENGINEERING CONTROLS:** Describe work practices and engineering controls used to prevent visible emissions before, during, and after removal, and until proper disposal: \_\_\_\_\_  
 \_\_\_\_\_

**13. UNEXPECTED ASBESTOS:** Describe the steps you intend to follow in the event that unexpected RACM is found or previously non-friable asbestos becomes friable (crumbled, pulverized, reduced to powder, etc.) and therefore regulated: \_\_\_\_\_  
 \_\_\_\_\_

**14. PROCEDURE(S) USED TO DETECT THE PRESENCE OF ASBESTOS: A)** Indicate how you determined whether or not asbestos is in the facility. If analytical sampling was used, describe method of analysis. (The determination of the presence or absence of asbestos must be made prior to submitting a renovation/demolition notification.): \_\_\_\_\_  
 \_\_\_\_\_

**B)** Name, address, and phone number of company performing asbestos survey: \_\_\_\_\_

**C)** Name, accreditation number of inspector, and date of inspection: \_\_\_\_\_

**15. EMERGENCY RENOVATIONS:** Date/time of emergency: \_\_\_\_\_ Describe the sudden, unexpected event: \_\_\_\_\_  
 \_\_\_\_\_

Explain how the event caused unsafe conditions, and/or would cause equipment damage and/or an unreasonable financial burden: \_\_\_\_\_  
 \_\_\_\_\_

**16.** I certify that an individual trained in the provisions of 40 CFR Part 61, Subpart M, will be on-site during the renovation and during demolition involving RACM above the threshold and/or during an ordered demolition. Evidence that this person has completed the required training will be available for inspection at the renovation or demolition site.

\_\_\_\_\_  
*Signature of Owner or Abatement Contractor      Date*

\_\_\_\_\_  
*Signature of Owner or Demolition Contractor      Date*

**17. Signature Requirements for Projects with Negative Pressure Enclosures: (required by LARA)**

**Per Section 221(1)(2) of P.A. 135 of 1986, as amended, clearance air monitoring is required for any asbestos abatement project involving 10 linear feet/15 square feet or more of friable material which is performed within a negative pressure enclosure. I (the building owner or lessee) have been advised by the contractor of my responsibility under Act 135 to have clearance air monitoring performed on this project.**

\_\_\_\_\_  
*Signature of Building Owner or Lessee      Date*

\_\_\_\_\_  
*Signature of Asbestos Abatement Contractor Representative      Date*

**NOTE:** It is **not** mandatory that a signed copy be sent to LARA unless requested. For affected projects, this section of the notification form must be completed, signed, and made part of **your** records before the project begins.

**18. I certify that the above information is correct:**

\_\_\_\_\_  
*Printed Name of Owner/Operator      Date*

\_\_\_\_\_  
*Signature of Owner/Operator      Date*

**MAILING ADDRESSES/PHONE NUMBERS:** (See Item 1 to determine which agency requirements/regulations are applicable to your project.)

For **Public Act 135 of 1986, as amended, Section 220 (1-4) or (8)**, mail to address below. For more info visit:  
<http://www.michigan.gov/asbestos>

MIOSHA Asbestos Program  
 LARA, CSHD  
 P.O. Box 30671  
 Lansing, MI 48909-8171

517.284.7699 (office), 517.284.7700 (fax)

For **NESHAP Demolitions/Renovations, 40 CFR, Part 61, Subpart M**, please use the e-submittal process. For more information visit <http://www.michigan.gov/air>, under Air Links click on Asbestos NESHAP Program.

NESHAP Asbestos Program  
 EGLE, AQD  
 P.O. Box 30260  
 Lansing, MI 48909-7760

517.284.6777 (Office)